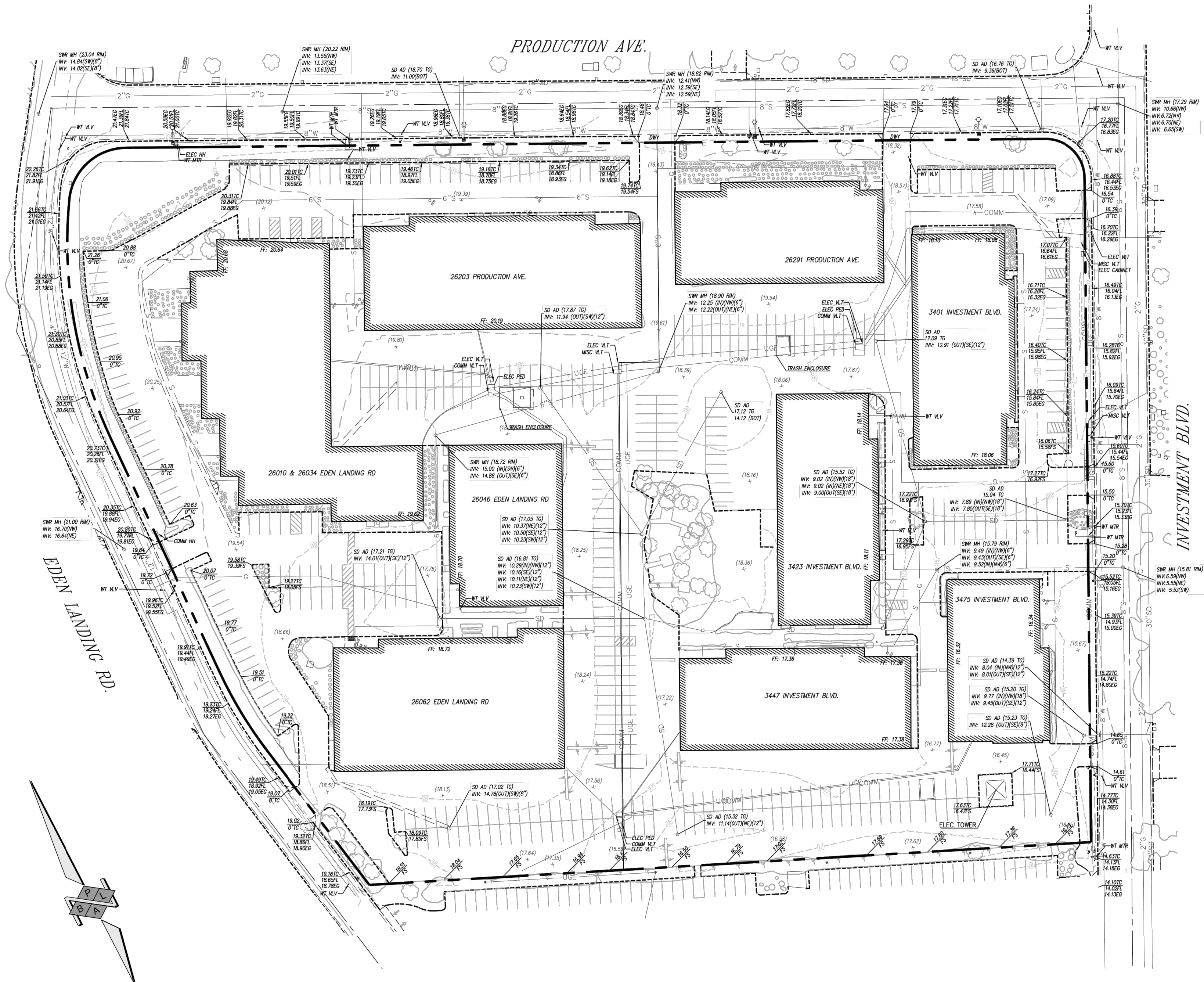


DOCKETED	
Docket Number:	23-SPPE-01
Project Title:	STACK SVY03A Data Center Campus
TN #:	258534
Document Title:	STACK SVY03A Revised Project Description - Part II of II
Description:	N/A
Filer:	Scott Galati
Organization:	DayZenLLC
Submitter Role:	Applicant Representative
Submission Date:	8/16/2024 8:27:05 AM
Docketed Date:	8/16/2024

TOPOGRAPHIC SURVEY

CITY OF HAYWARD, COUNTY OF ALAMEDA, STATE OF CALIFORNIA



SITE ADDRESS

THE LISTED SITE ADDRESSES ARE 26010, 26034, 26046 & 26062 EDEN LANDING ROAD; 3401, 3423, 3447 & 3475 INVESTMENT BOULEVARD; 26033 & 26291 PRODUCTION AVENUE, HAYWARD, CA. THE BUILDING ON-SITE HAVE INDIVIDUAL ADDRESSES AS SHOWN HEREON.

DATE OF SURVEY

THE PROPERTY DESCRIBED ON THIS PLAT WAS SURVEYED JULY 13, 2022.

BASIS OF BEARINGS

THE BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE 10, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 (2017.50 EPOCH) AND WERE DETERMINED BY STATIC GPS TIES TO TWO CONTINUOUS GPS STATIONS (COPS) REFERRED TO AS "TINY" AND "2041" BEARING BETWEEN BOTH STATIONS BEING NORTH 41°10'21" WEST BASED ON POSITIONS PUBLISHED IN THE CALIFORNIA SPATIAL REFERENCE CENTER.

ALL DISTANCES SHOWN ARE GROUND, UNLESS OTHERWISE NOTED. TO OBTAIN GRID, MULTIPLY GROUND DISTANCE BY A COMBINED FACTOR OF 0.9999356920.

BENCHMARK

NATIONAL GEODETIC SURVEY BENCHMARK PID "H23336"
ELEVATION: 23.43 FEET (DATUM: NAVD 83)
DESCRIPTION: 1.8 MALES NORTHEAST ALONG STATE HIGHWAY 92 FROM THE SAN MATEO BRIDGE TOLL PLAZA AT HAYWARD, AT PG AND E STEEL POWER LINE TOWER 12/28, IN TOP OF THE NORTH SIDE OF THE CONCRETE FOUNDATION FOR THE NORTH LEG, 90 FT SOUTHEAST OF THE CENTERLINE OF CLAWITER ROAD, AND ABOUT 1 FT ABOVE THE GROUND.

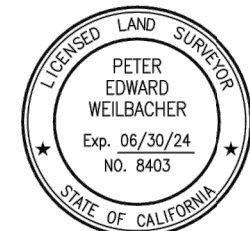
SURVEYOR'S STATEMENT

I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP, CONSISTING OF 1 SHEET REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY DIRECTION IN JULY 2022.

PETER E. WEIBACHER, PLS 8403
EXPIRES 06-30-24

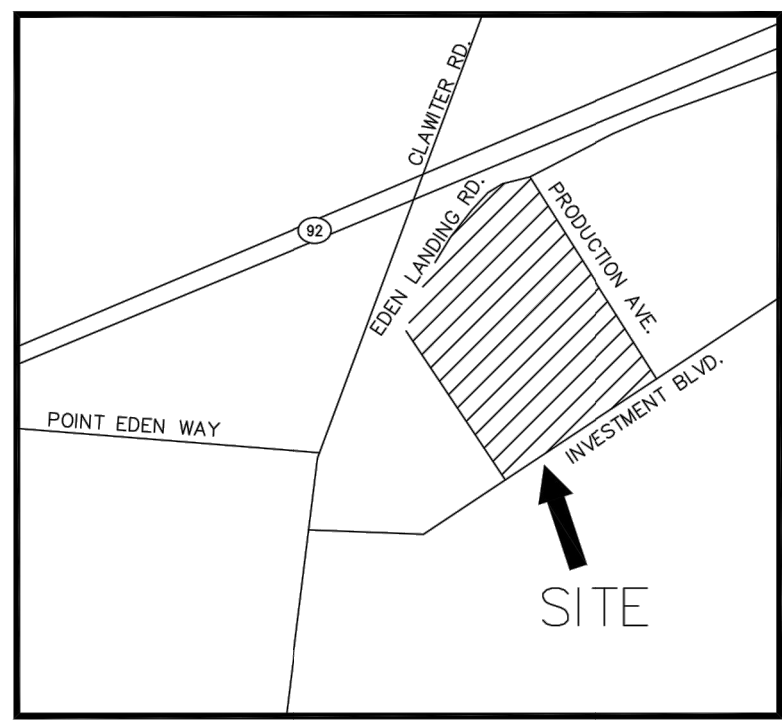
Jan 10 2023

DATE:



LEGEND

RIGHT-OF-WAY LINE	ABOVE GROUND FEATURES	VALVE
LOT/PARCEL LINE	CONC - CONCRETE	WT FH
STREET CENTERLINE	ASPH - ASPHALT	ICV HH
BOUNDARY LINE	SWLK - SIDEWALK	WT BFP
C/L TIE LINE	AD - AREA DRAIN	UTILITY MH
CONCRETE	BFP - BACKFLOW PREVENTOR	SIK
CURB	CO - CLEANOUT	STREET LIGHT
LANE STRIPING	DMV - DRIVEWAY	SIK
WALL	EP - EDGE OF PAVEMENT	BOLLARD
GRADE BREAK LINE	FH - FIRE HYDRANT	TREE
CONCRETE SIDEWALK	HH - HANDHOLE	YARD LIGHT
1 FOOT CONTOUR INTERVAL	MTR - MANHOLE	SEWER CLEANOUT
5 FOOT CONTOUR INTERVAL	SL - STREET LIGHT	
UNDERGROUND GAS	VAL - VAULT	
UNDERGROUND TELEPHONE	WT - WATER	
UNDERGROUND ELECTRIC		
UNDERGROUND SEWER		
UNDERGROUND STORM DRAIN		
EXISTING BUILDING		



VICINITY MAP
NOT TO SCALE

NTS

FOR REFERENCE ONLY
(SURVEY INFORMATION
SHOWN WAS PREPARED BY
PBLA SURVEYING INC. ON
07/13/2022)

DATE	BY	REVISION	APP'D	JOB NO.
07/22/2022	ES	FIRST RELEASE	PW	5001-632
				SH. 1 of 1

PREPARED FOR:
Kimley»Horn
© 2023 KIMLEY HORN AND ASSOCIATES, INC.
4637 CHABOT DRIVE SUITE 300 PLEASANTON, CA 94588
PHONE: 925-366-4940
WWW.KIMLEY-HORN.COM

PREPARED BY:
PBLA SURVEYING, INC.
Planning • Engineering • Surveying
981 CORPORATE CENTER DR., STE. 108
POMONA, CALIF. 91768
(888) 714-9642 • (714) 389-9191 FAX

CONFIDENTIAL

PROJECT ADDRESS

26062 EDEN LANDING RD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

ENTITLEMENT REVIEW

SEAL/SIGNATURE

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKs

MARK DATE DESCRIPTION

7/12/24 PLANNING RESUBMITTAL #2

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ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
STANTEC
REV BERNARDINO
(312) 551-9512
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

CIVIL ENGINEER
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA 94588

STRUCTURAL ENGINEER
HKs
CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

ARCHITECT
HKs
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

PLUMBING ENGINEER
ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT: BUILDING A

TITLE: EXISTING CONDITION

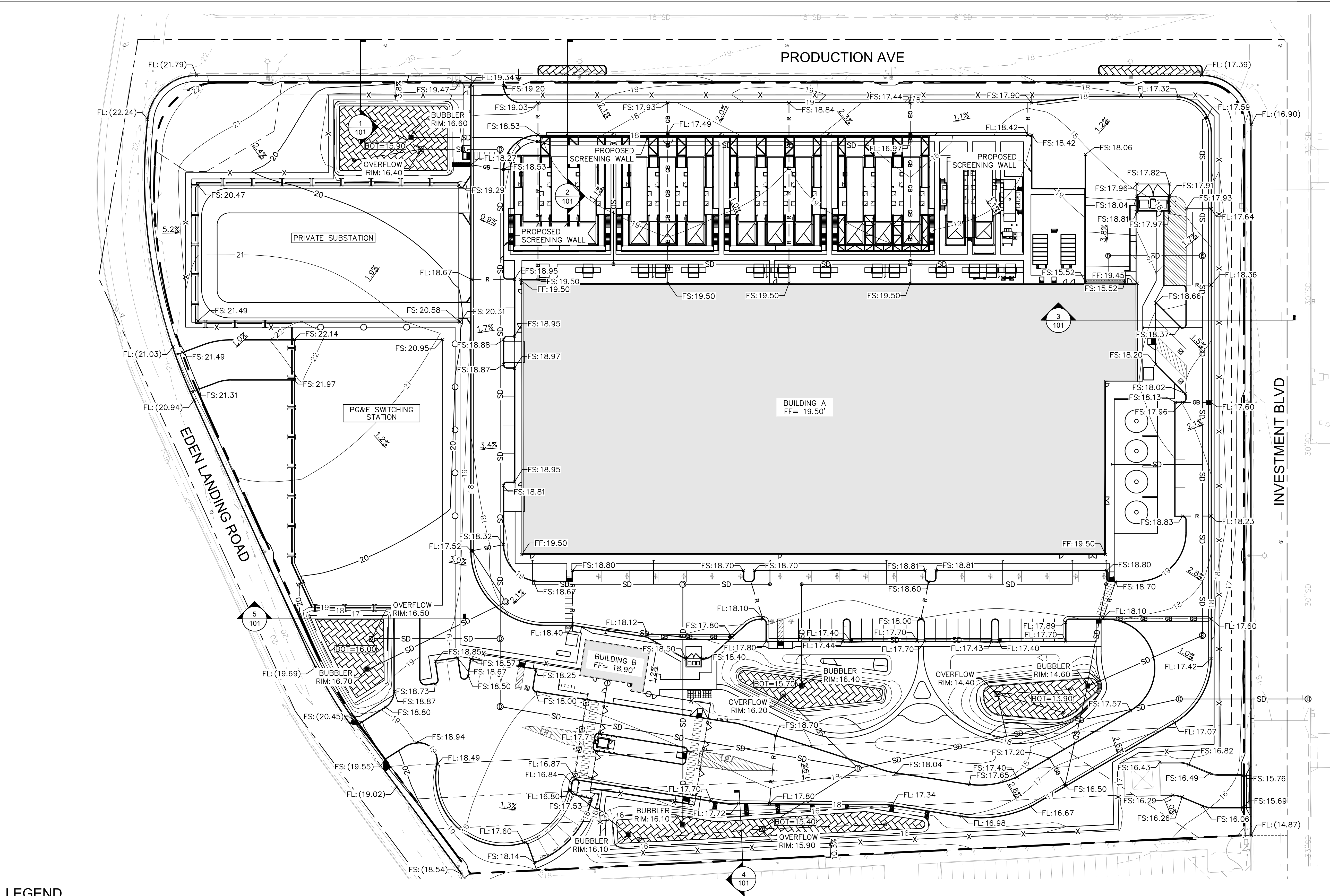
DRAWING: C-100

E1 SCALE: AGILE No: REV:



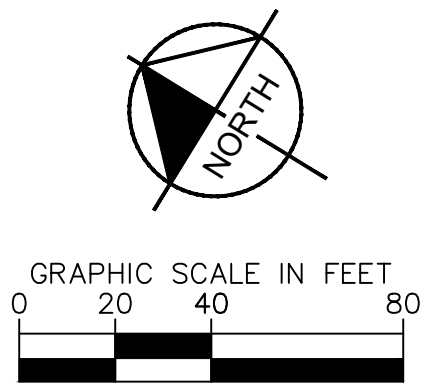
Know what's below.
Call before you dig.

El		
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LEGEND	
	PROPERTY LINE
	RIGHT OF WAY LINE
	BUILDING SETBACK LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	FLOW LINE
	PROPOSED ELEVATION
	EXISTING ELEVATION
	PROPOSED SLOPE
	GRADE BREAK LINE
	RIDGE LINE

SPOT ELEVATION LEGEND	
RIM	RIM ELEVATION
FFE	FINISHED FLOOR ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
ME	MATCH EXISTING
LP	LOW POINT
HP	HIGH POINT
(UNLABELED SPOT ELEVATIONS ARE ASSUMED TO BE AT THE FLOWLINE OR TOP OF PAVEMENT)	



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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK	DATE	DESCRIPTION
	7/12/24	PLANNING RESUBMITTAL #2

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ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
STANTEC
REV BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

CIVIL ENGINEER
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA 94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
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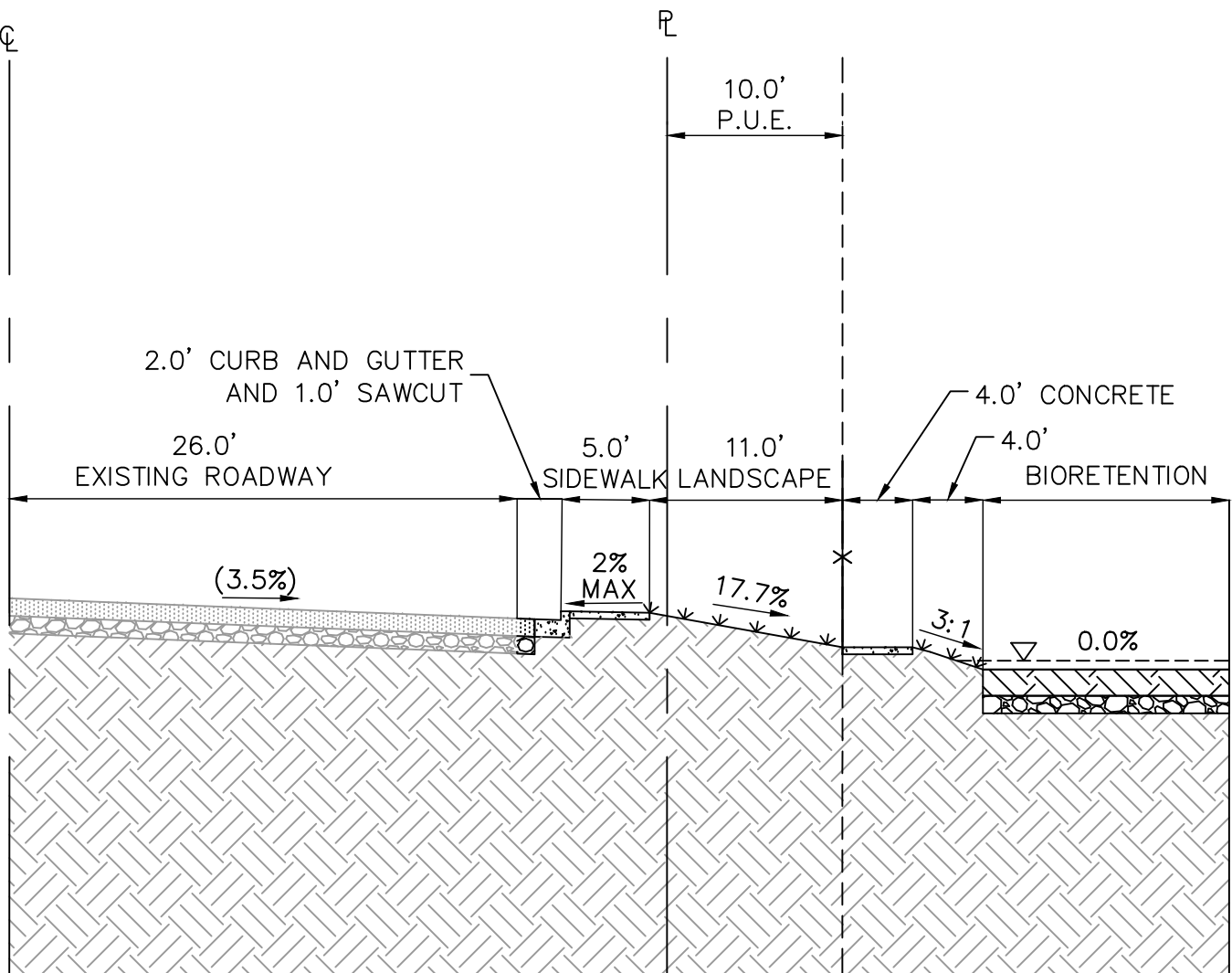
PLUMBING ENGINEER
ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT: BUILDING A

TITLE: PRELIMINARY GRADING
AND DRAINAGE PLAN

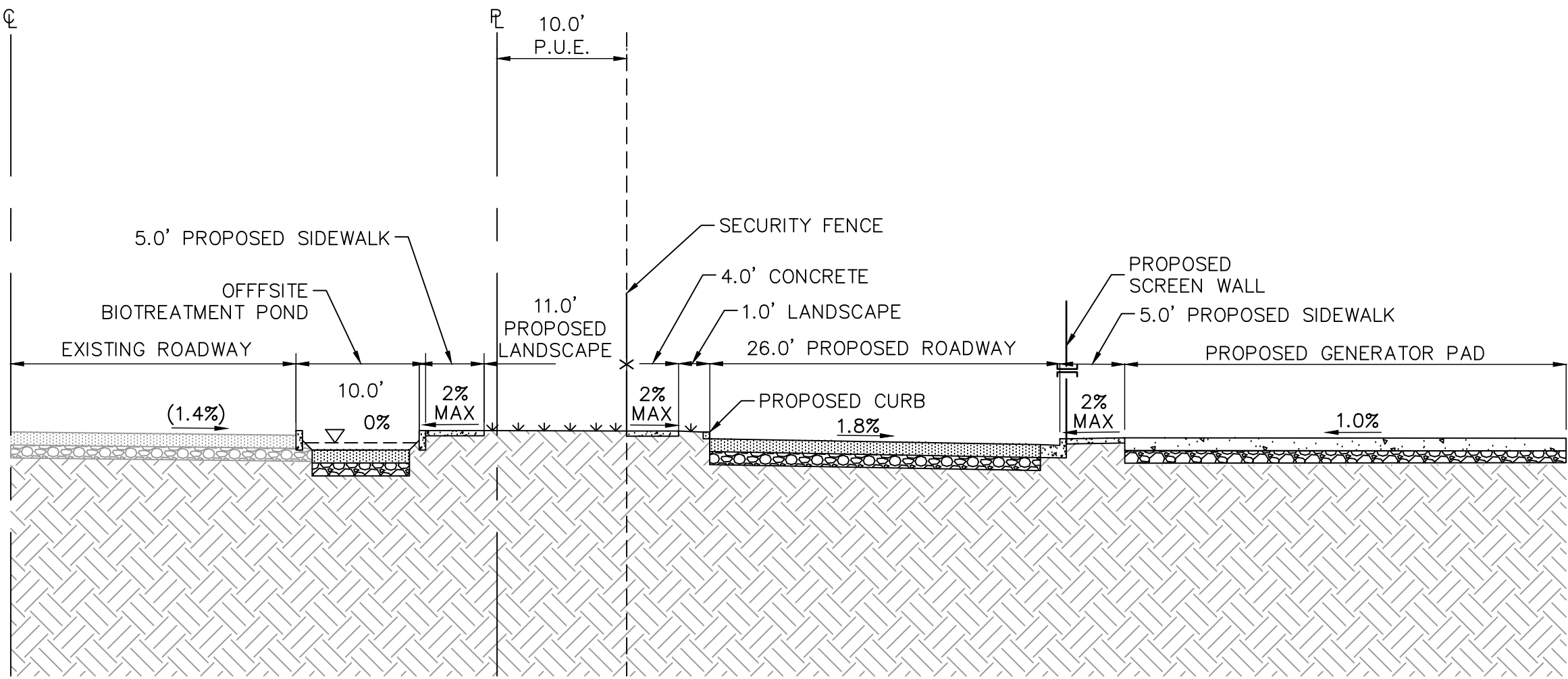
DRAWING: C-300

E1	SCALE:	AGILE No:	REV:
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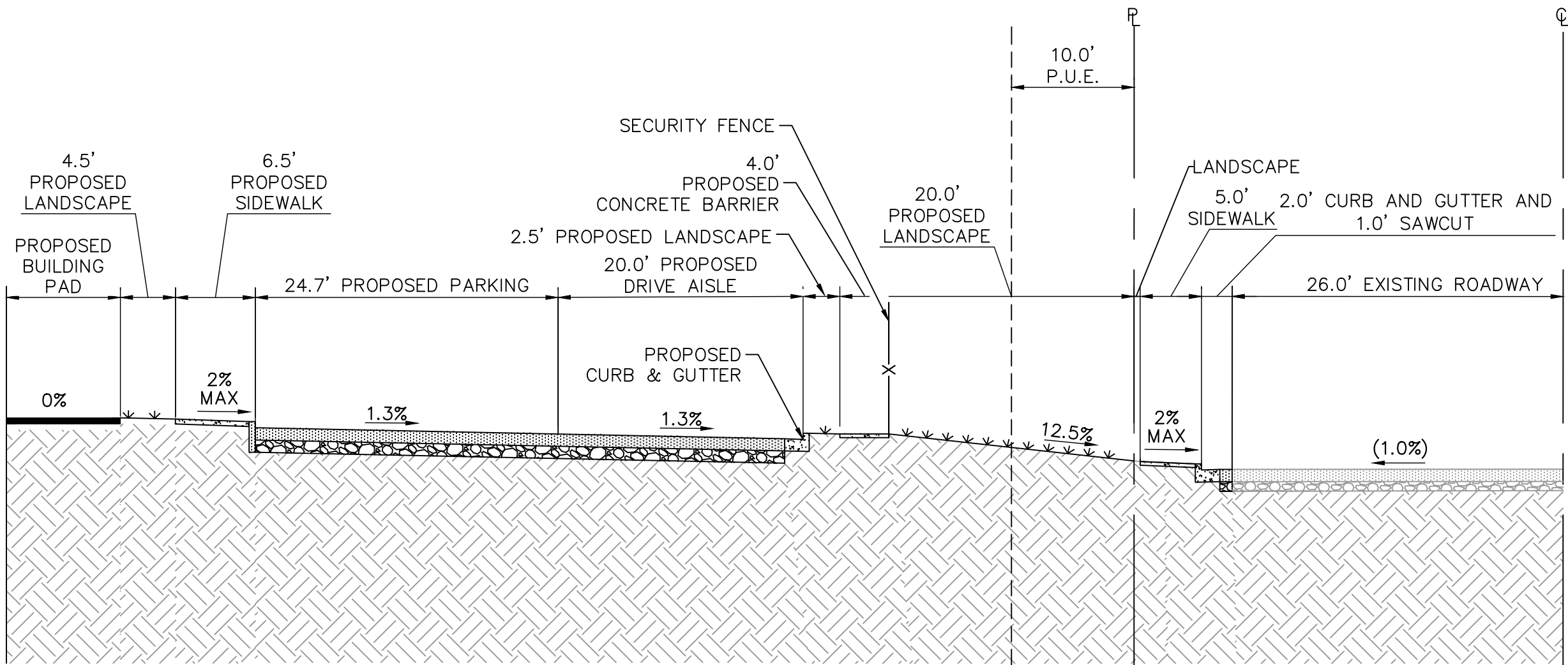
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1



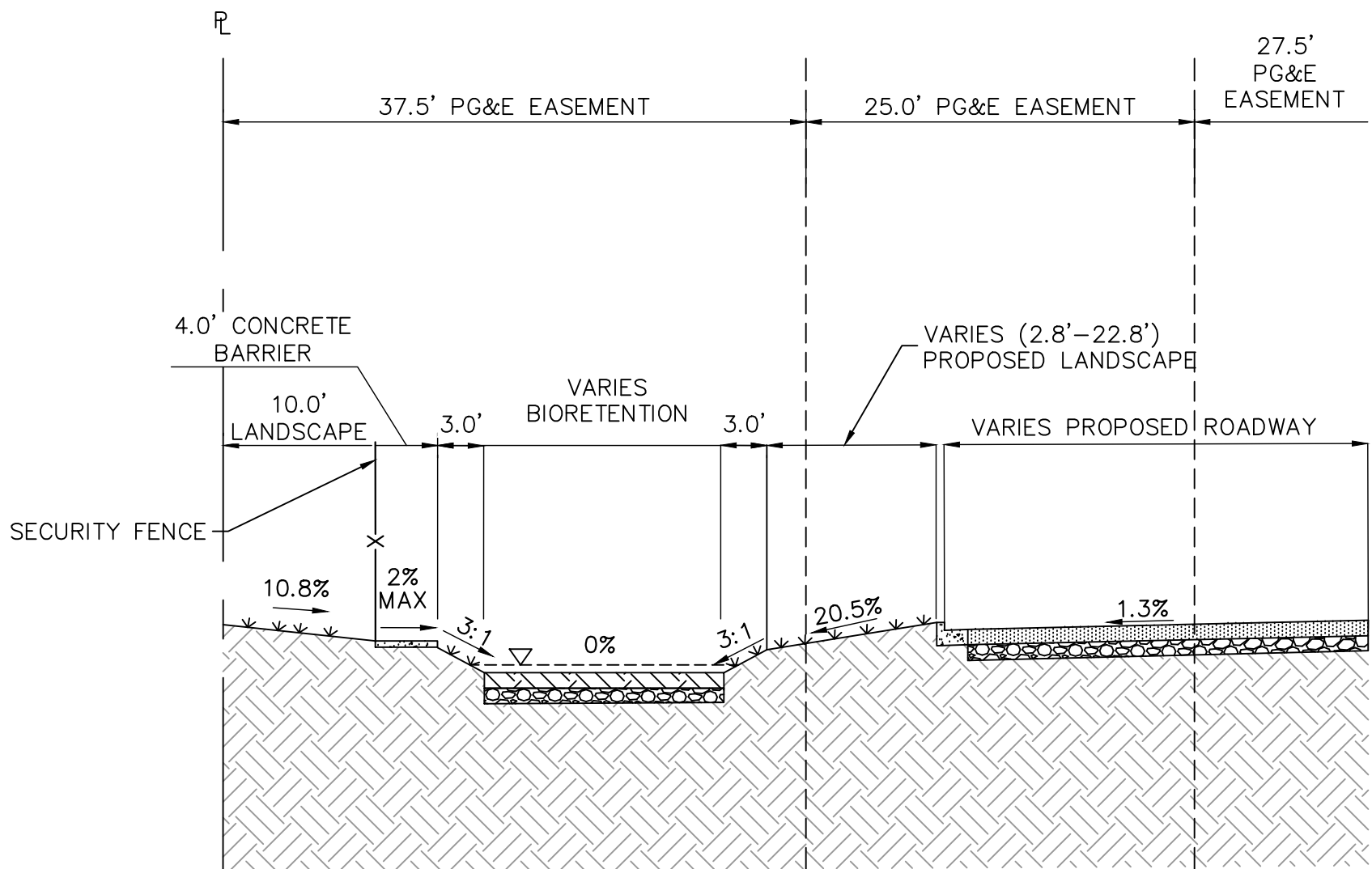
SECTION 2
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2



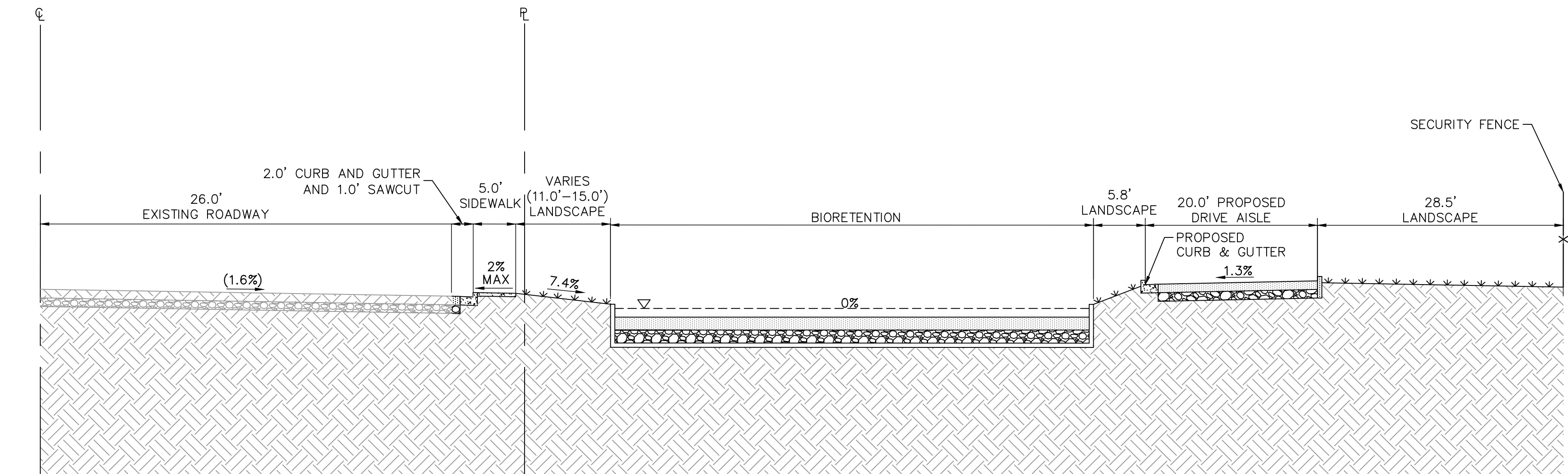
SECTION 3
NOT TO SCALE

3



SECTION 4
NOT TO SCALE

4



SECTION 5
NOT TO SCALE

5

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ISSUE DATE: 2 JAN 2023

PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN

ARCHITECT: HKS

MARK

DATE

DESCRIPTION

7/12/24

PLANNING RESUBMITTAL #2

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER

STANTEC
REY BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

CIVIL ENGINEER

KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA 94588

STRUCTURAL ENGINEER

HKS
CLINT NASH
(214) 969-5599
One Dallas Center
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Dallas Texas 75201

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HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

PLUMBING ENGINEER

ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT:

BUILDING A

TITLE:

PRELIMINARY GRADING
SECTIONS

DRAWING:

C-301

E1

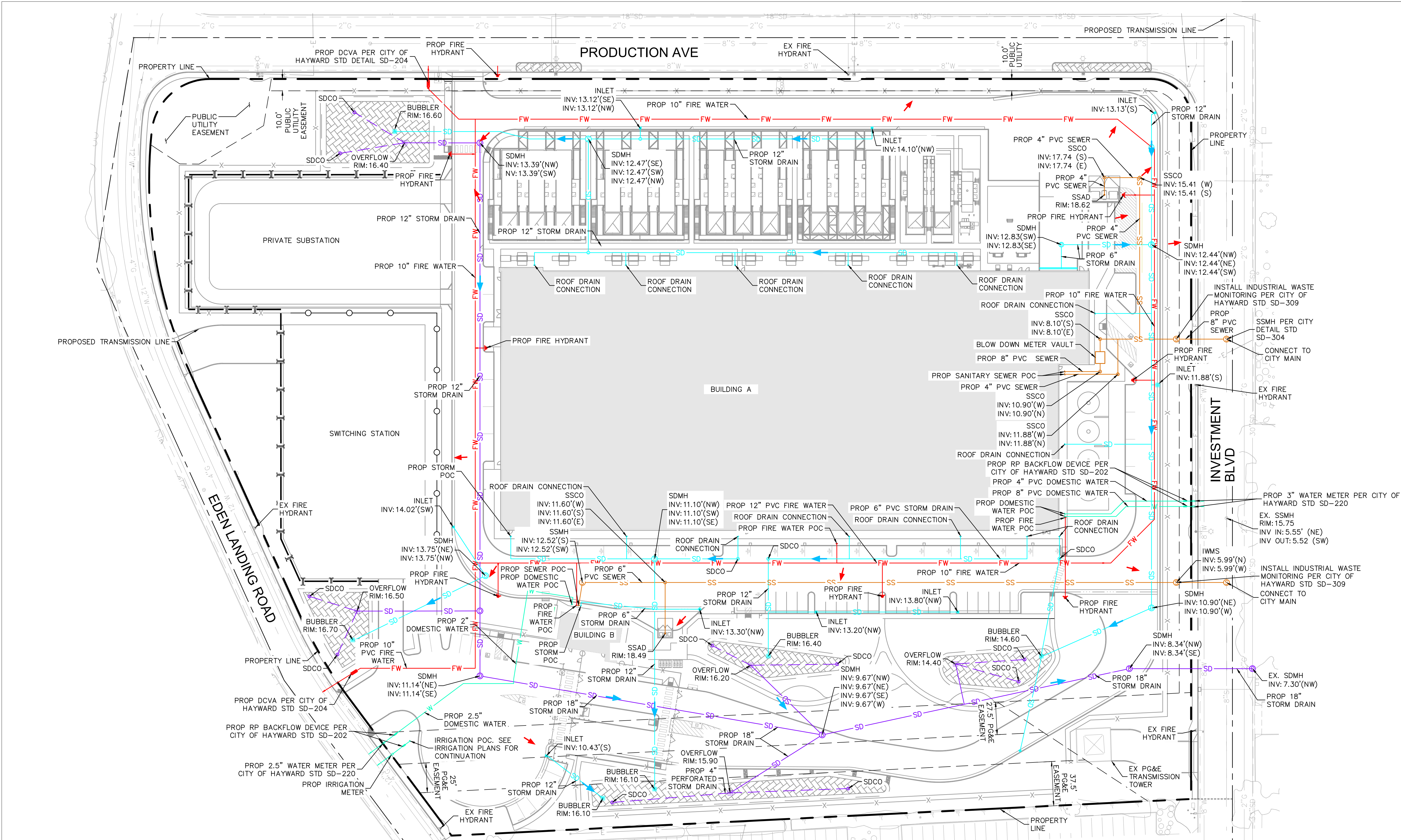
SCALE:

AGILE No:

REV:



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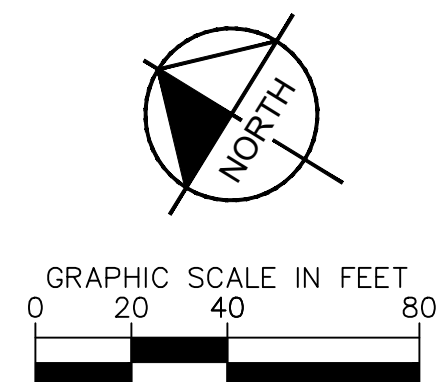
LEGEND	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED TRANSMISSION LINE
	EASEMENT LINE
	PROPOSED GRAVITY SEWER PIPE
	PROPOSED STORM DRAIN PIPE
	PROPOSED DOMESTIC WATER LINE
	PROPOSED FIRE WATER LINE
	EXISTING GRAVITY SEWER PIPE
	EXISTING STORM DRAIN PIPE
	EXISTING DOMESTIC WATER LINE
	EXISTING FIRE WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER STRUCTURE
	PROPOSED STORM DRAIN STRUCTURE
	PROPOSED POC
	PROPOSED PIPE SLOPE DIRECTION
	PROPOSED FLOW DIRECTION

ABBREVIATIONS LIST

DCVA	DOUBLE CHECK VALVE ASSEMBLY	RP	REDUCED PRESSURE
EX	EXISTING	SDCB	STORM DRAIN CATCH BASIN
FX	FIRE HYDRANT	SDCOQ	STORM DRAIN CLEAN OUT
INV	INVERT	SSAD	SANITARY SEWER AREA DRAIN
IWMS	INDUSTRIAL WASTE MONITORING STRUCTURE	SSCO	SANITARY SEWER CLEAN OUT
POC	POINT OF CONNECTION	SSMH	SANITARY SEWER MANHOLE
PROP	PROPOSED	STD	STANDARD DETAIL

GENERAL NOTES

- MARK ON-SITE INLETS WITH THE WORDS 'NO DUMPING! FLOWS TO BAY' OR EQUIVALENT.
- ALL STORM DRAIN AND WATER SERVICES TO HAVE 4' SEPARATION.
- ALL SEWER MAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S LATEST "SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER MAINS AND APPURTENANCES".



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HAYWARD, CA 94545

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK DATE DESCRIPTION

7/12/24 PLANNING RESUBMITTAL #2

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--	--

CIVIL ENGINEER KIMLEY-HORN ANTHONY VERA (925) 398-4840 4637 CHABOT DR#300 PLEASANTON, CA 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201
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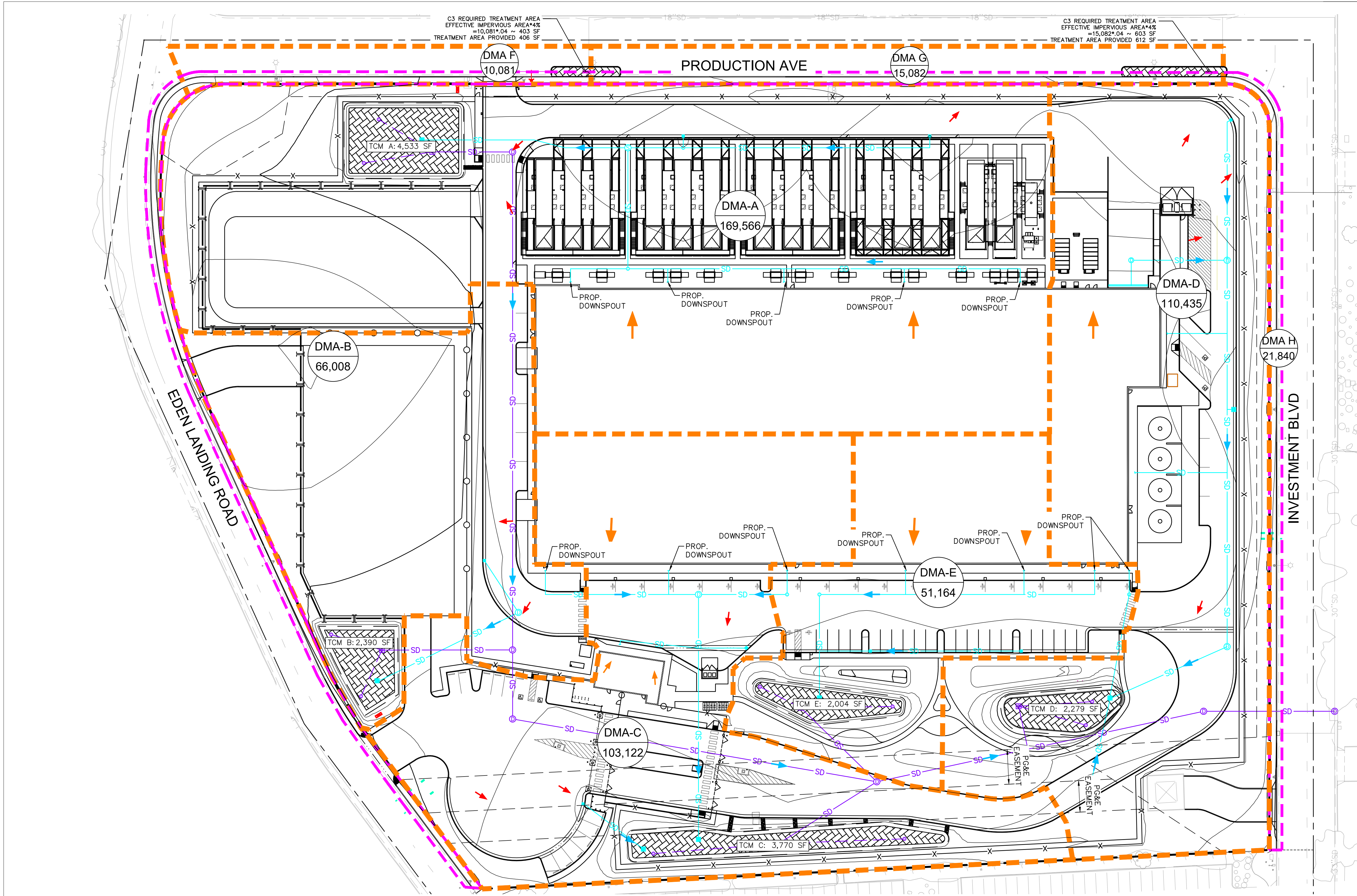
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201	PLUMBING ENGINEER ESD GLOBAL STEVE WUTHRICH (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606
---	--

PROJECT: BUILDING A

TITLE: PRELIMINARY UTILITY PLAN

DRAWING: C-400

E1 SCALE: AGILE No: REV:



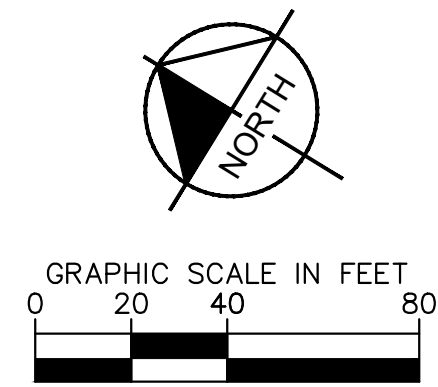
LEGEND

- PROPERTY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK LINE
- PROPOSED CHAIN LINK FENCE
- DRAINAGE MANAGEMENT AREA
- PROPOSED PIPE SLOPE DIRECTION
- PROPOSED ROOF FLOW DIRECTION
- PROPOSED FLOW DIRECTION
- PROPOSED UNTREATED STORM DRAIN LINE
- PROPOSED TREATED STORM DRAIN LINE
- DMA NUMBER
- DMA AREA (S.F.)

PROPOSED STORMWATER TREATMENT TABLE							
DMA #	TOTAL AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA 4% (SF)	TREATMENT PROVIDED (SF)	TREATMENT AREA
A	169,566	40,366	129,200	133,237	5330 (3,850 COMBO)	4,533	TCM A
B	66,008	23,365	42,643	44,980	1,350	2,390	TCM B
C	103,112	21,375	81,737	83,875	3340 (2,450 COMBO)	3,770	TCM C
D	110,435	43,592	66,843	71,202	2320 (2,050 COMBO)	2,279	TCM D
E	51,164	14,693	36,471	37,940	1,520	2,004	TCM E
TOTAL	500,285	143,391	356,894	371,233	12180	14,976	N/A
F	10,081	0	10,081	10,081	403	406	TCM F
G	15,082	0	15,082	15,082	603	612	TCM G
H	21,840	1,821	20,019	20,201	808	*	N/A

* DMA H IS THE REQUIRED AREA ALONG THE PROJECT FRONTAGE NEEDING TREATMENT. DMA'S F AND G ARE EXISTING DRAINAGE CONDITIONS THAT WILL BE TREATED IN LIEU OF DMA H. DMA'S F & G CONTAIN MORE EFFECTIVE IMPERVIOUS AREA THAN DMA H, THEREFORE TREATMENT AREA EXCEEDS THE PROJECT REQUIREMENT

ONSITE IMPERVIOUS VS PERVIOUS AREA				
	TOTAL PROPERTY AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	PERCENT PERVIOUS
EXISTING	500,285	143,391	356,894	28.66%
PROPOSED	500,285	110,550	389,735	22.10%



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PROJECT ADDRESS
26062 EDEN LANDING RD
HAYWARD, CA 94545

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004
DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK	DATE	DESCRIPTION
A	7/12/24	PLANNING RESUBMITTAL #2

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CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 CHABOT DR#300 PLEASANTON, CA 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201	PLUMBING ENGINEER ESD GLOBAL STEVE WUTHRICH (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606

PROJECT: BUILDING A
TITLE: PRELIMINARY STORMWATER CONTROL PLAN
DRAWING: C-500
E1 SCALE: AGILE No: REV:

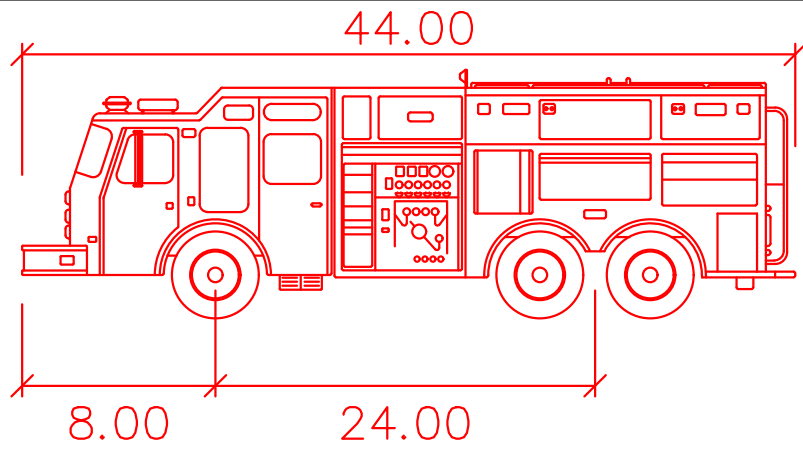
GENERAL NOTES

1. FIRE ACCESS ROADWAYS SHALL HAVE A "MINIMUM" UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. AERIAL APPARATUS ACCESS ROADS MAY REQUIRE ADDITIONAL VERTICAL CLEARANCE.
2. ALL FIRE ACCESS ROADWAYS SHALL BE AN ALL-WEATHER SURFACE DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WITH A GROSS VEHICLE WEIGHT OF 75,000 POUNDS.
3. FIRE APPARATUS ACCESS ROADWAYS SHALL HAVE A "MINIMUM" INSIDE TURNING RADIUS OF 36 FEET.
4. THE GRADE FOR EMERGENCY APPARATUS ACCESS ROADWAYS SHALL NOT EXCEED 10% TO FACILITATE FIRE-GROUND OPERATIONS. SEE SHEET C3.0, PRELIMINARY GRADING AND DRAINAGE PLAN, FOR PROPOSED GRADING INFORMATION.
5. TRAFFIC CALMING DEVICES ARE NOT PERMITTED ON ANY DESIGNATED FIRE ACCESS ROADWAY, UNLESS APPROVED BY THE FIRE PREVENTION & HAZARDOUS MATERIALS DIVISION.
6. FIRE APPARATUS ACCESS ROADWAYS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED MORE THAN 150 FEET FROM FIRE APPARATUS ACCESS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.

LEGEND

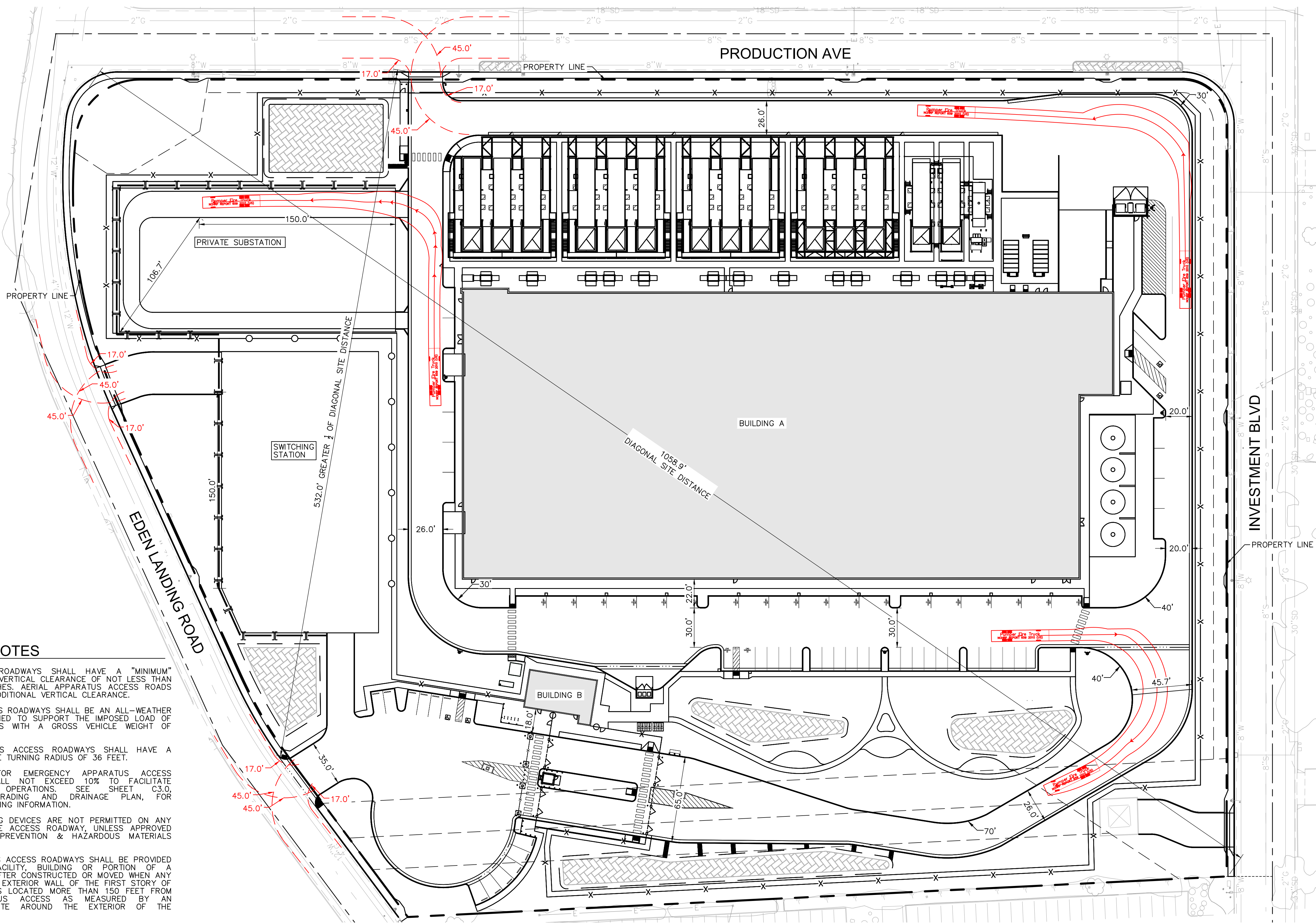
- PROPERTY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK LINE
- X- PROPOSED CHAIN LINK FENCE
- BIORETENTION AREA

DESIGN TRUCK



Pumper Fire Truck

Width : 8.50
Track : 8.50
Lock to Lock Time : 6.0
Steering Angle : 37.8



TEST NO.	747
WORK ORDER INFORMATION	
MUNIS ACCOUNT:	605-33210
WAGREN WFO NUMBER:	9049
DATE ISSUED:	7/27/2022
APPLICATION NUMBER:	7513

HAYWARD WATER SYSTEM
FIRE FLOW TEST

DATE: 7/29/2022 TIME: 2:00 PM TEST BY: Water Distribution
APPROXIMATE LOCATION: 26010 Eden Landing Rd
NOTES:

HYDRANT NUMBER	APPROXIMATE LOCATION	PRESSURE --- PSI			DISCHARGE --- GPM	
		Static	Residual	Pitot	Orifice	Observed 20 psi calc.
3114-02	Production Ave	108	100		2.5	1,591.8 5,811.0
3114-03	Production Ave			90	2.5	

* When conducting the design of any fire protection system, a maximum static pressure of 80 psi should be used. Residual pressures used for the calculation should be adjusted accordingly.

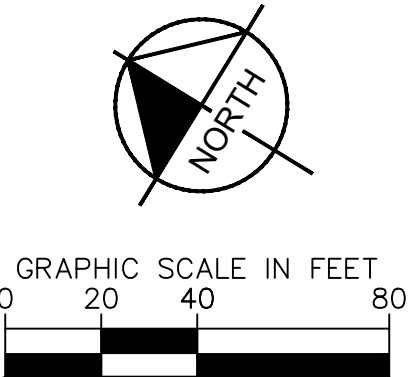
TEST NO.	748
WORK ORDER INFORMATION	
MUNIS ACCOUNT:	605-33210
WAGREN WFO NUMBER:	9054
DATE ISSUED:	7/27/2022
APPLICATION NUMBER:	7514

HAYWARD WATER SYSTEM
FIRE FLOW TEST

DATE: 7/29/2022 TIME: 1:00 PM TEST BY: Water Distribution
APPROXIMATE LOCATION: 26010 Eden Landing Rd
NOTES:

HYDRANT NUMBER	APPROXIMATE LOCATION	PRESSURE --- PSI			DISCHARGE --- GPM	
		Static	Residual	Pitot	Orifice	Observed 20 psi calc.
3114-01	Eden Landing Rd & Production Ave	108	100		2.5	1,574.0 5,746.0
3114-06	26010 Eden Landing Rd			88	2.5	

* When conducting the design of any fire protection system, a maximum static pressure of 80 psi should be used. Residual pressures used for the calculation should be adjusted accordingly.



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PROJECT ADDRESS

26062 EDEN LANDING RD
HAYWARD, CA 94545

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ISSUE DATE: 2 JAN 2023

PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN

ARCHITECT: HKS

MARK	DATE	DESCRIPTION
Δ	7/12/24	PLANNING RESUBMITTAL #2

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MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
STANTEC
REY BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

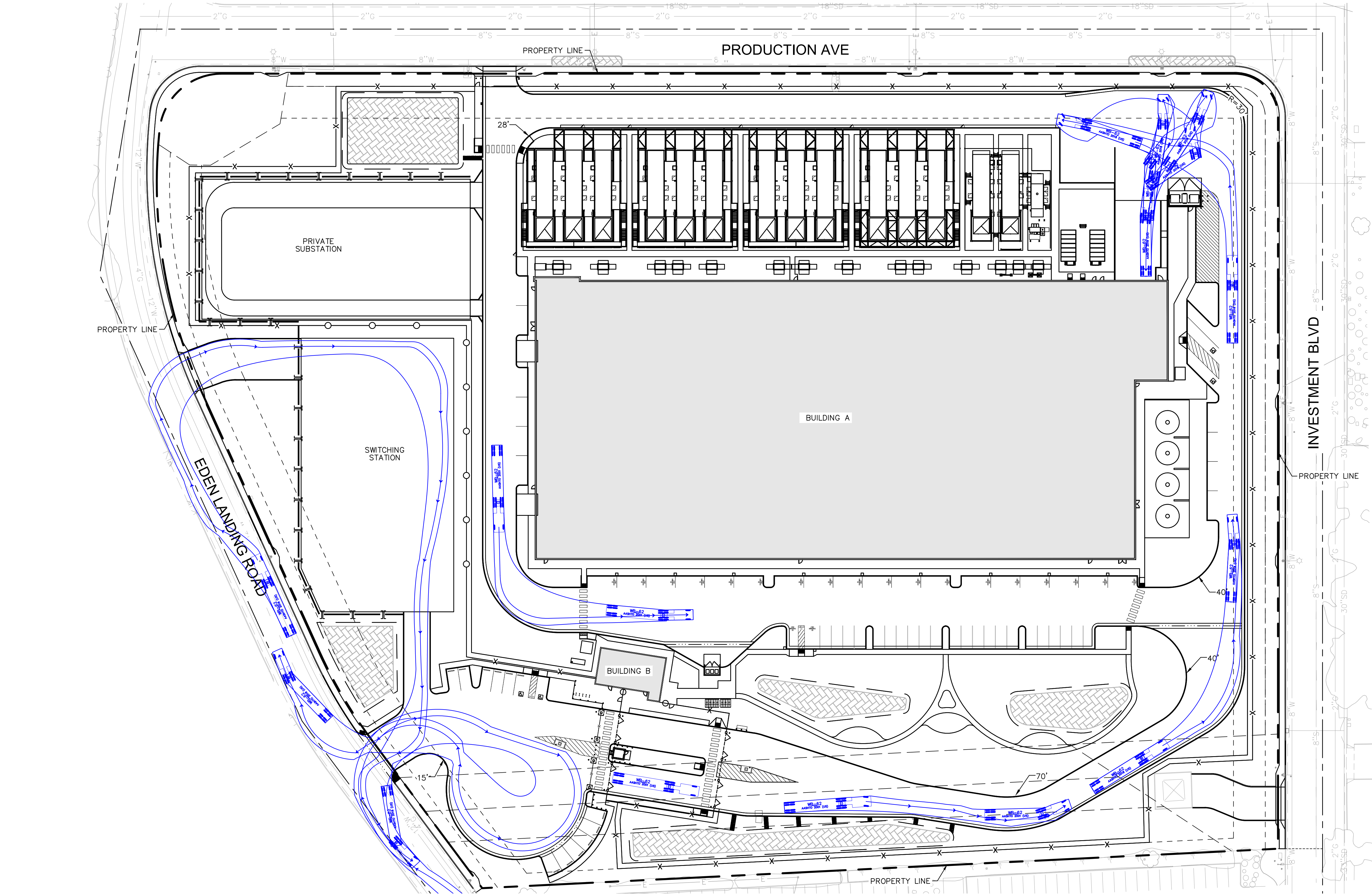
CIVIL ENGINEER
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

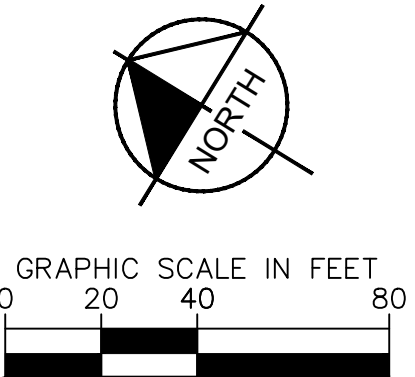
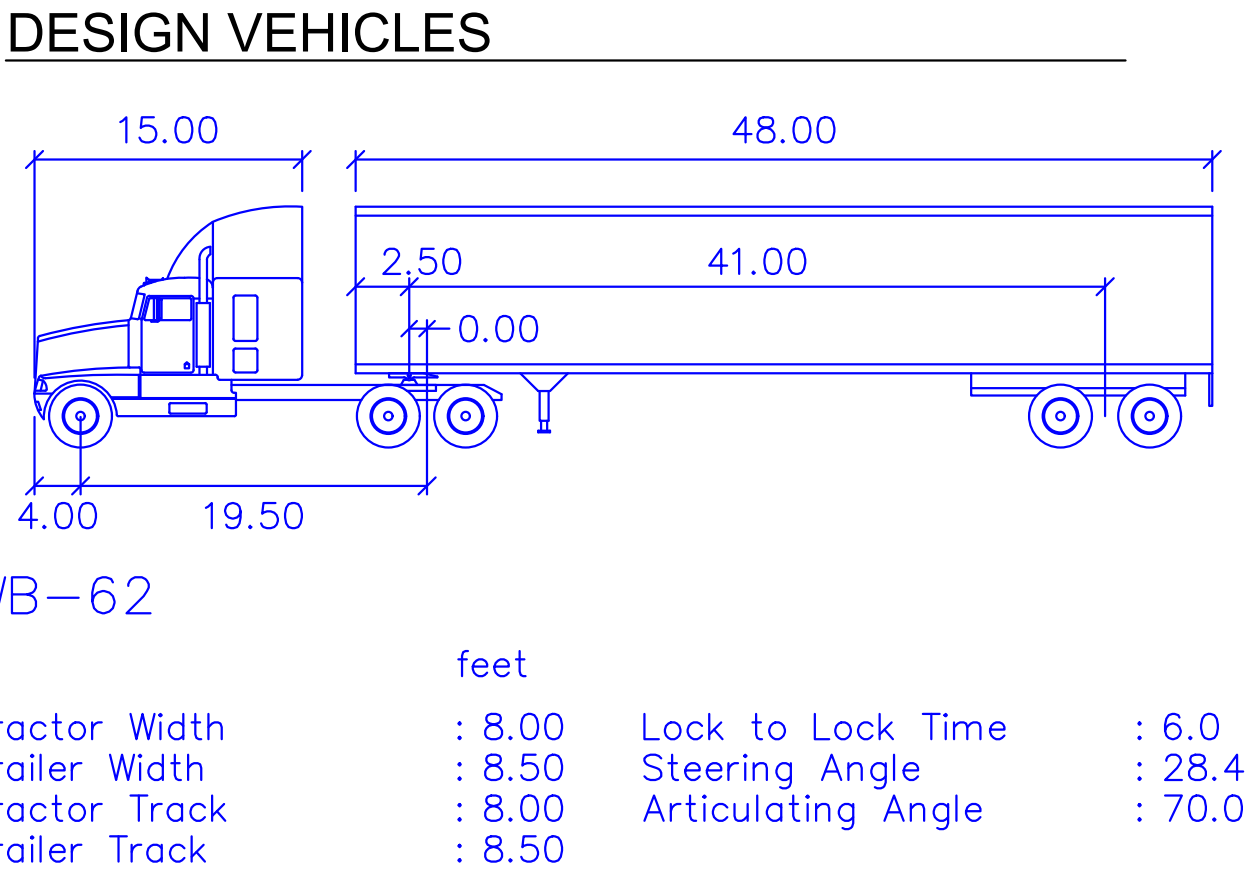
ARCHITECT
HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

PLUMBING ENGINEER
ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT:	BUILDING A
TITLE:	PRELIMINARY FIRE ACCESS
DRAWING:	C-600
E1 SCALE:	AGILE No: REV:



- LEGEND**
- PROPERTY LINE
 - RIGHT OF WAY LINE
 - BUILDING SETBACK LINE
 - PROPOSED CHAIN LINK FENCE
 - BIORETENTION AREA



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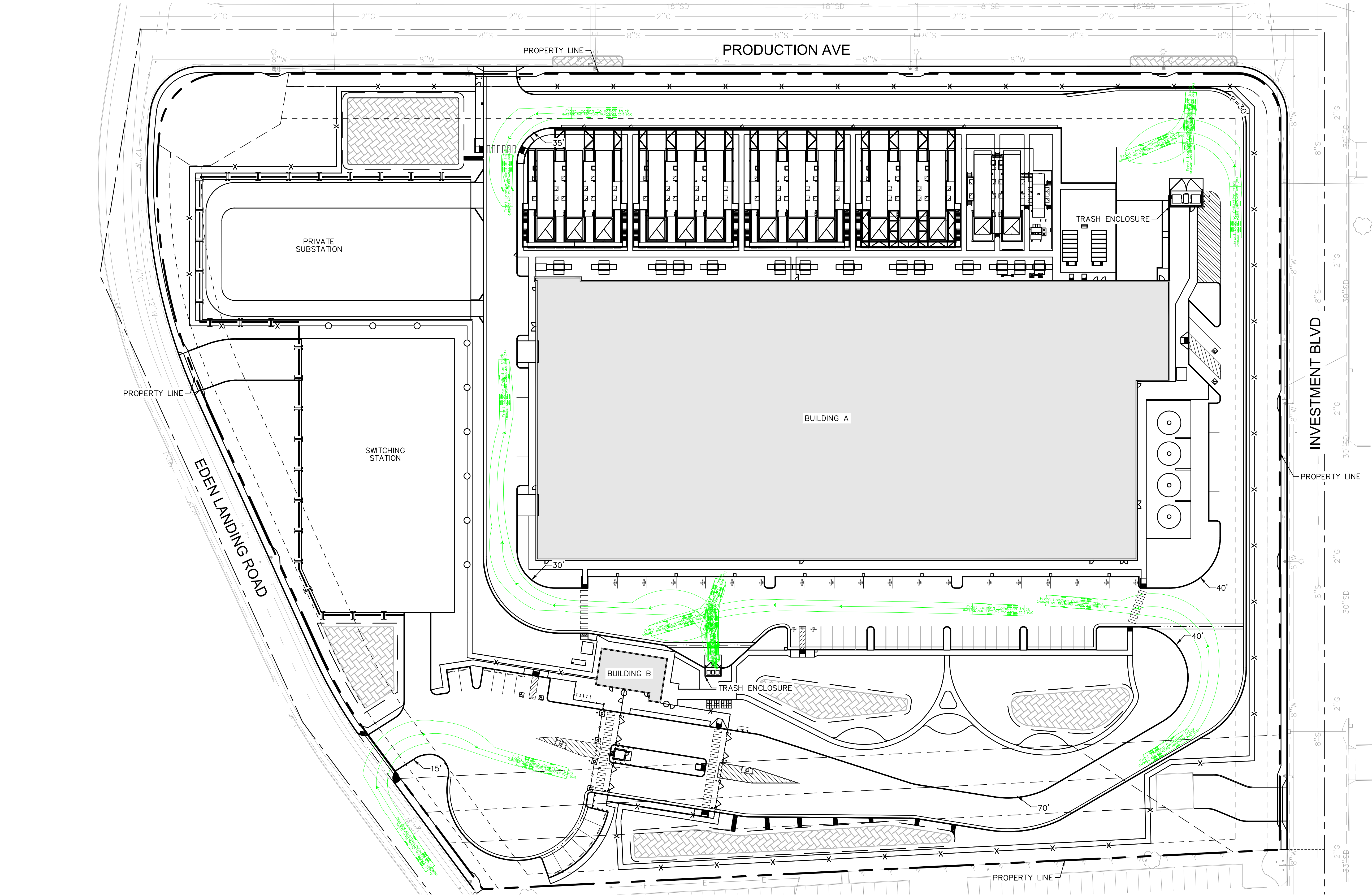
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ISSUE DATE:	2 JAN 2023	PROJECT NO:	197459004
DESIGNED:	KIMLEY-HORN	ARCHITECT:	HKS
MARK	DATE	DESCRIPTION	
1	7/12/24	PLANNING RESUBMITTAL #2	

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CIVIL ENGINEER KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 CHABOT DR#300 PLEASANTON, CA 94588	STRUCTURAL ENGINEER HKS CLINT NASH (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201
ARCHITECT HKS DUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201	PLUMBING ENGINEER ESD GLOBAL STEVE WUTHRICH (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606

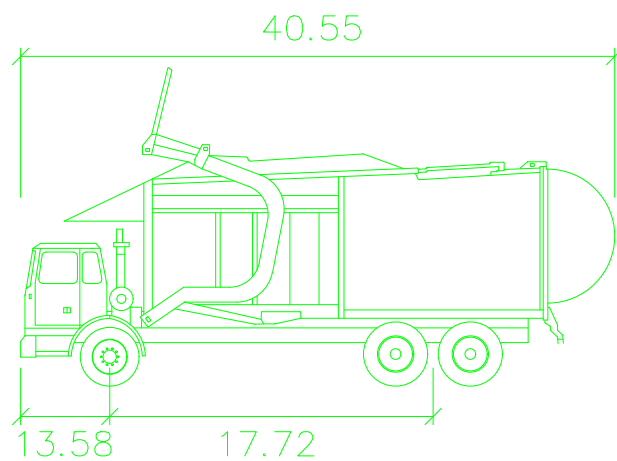
BUILDING A			
TITLE: PRELIMINARY TRUCK TURNING			
DRAWING: C-700			
E1	SCALE:	AGILE No:	REV:



LEGEND

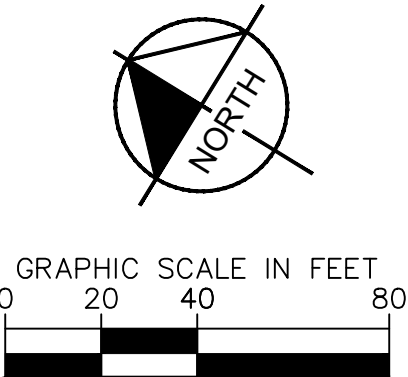
- PROPERTY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK LINE
- PROPOSED CHAIN LINK FENCE
- BIORETENTION AREA

DESIGN VEHICLES



Front Loading Collection truck

Width : 8.53
Track : 8.53
Lock to Lock Time : 6.0
Steering Angle : 27.7



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PROJECT ADDRESS

26062 EDEN LANDING RD
HAYWARD, CA 94545

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK	DATE	DESCRIPTION
1	7/12/24	PLANNING RESUBMITTAL #2

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ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
STANTEC
REV BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

CIVIL ENGINEER
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA 94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
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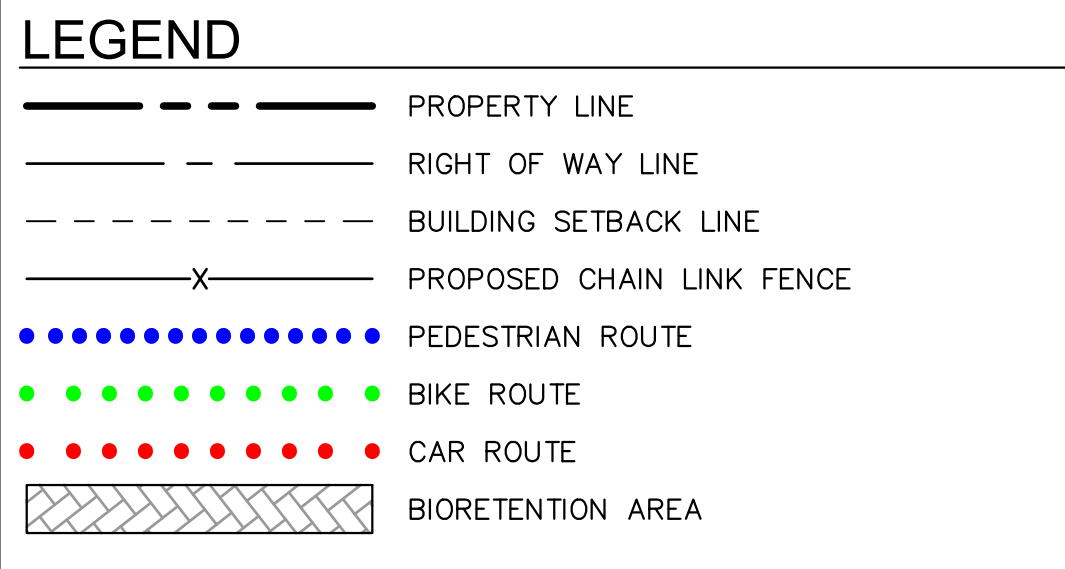
PLUMBING ENGINEER
ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT: BUILDING A

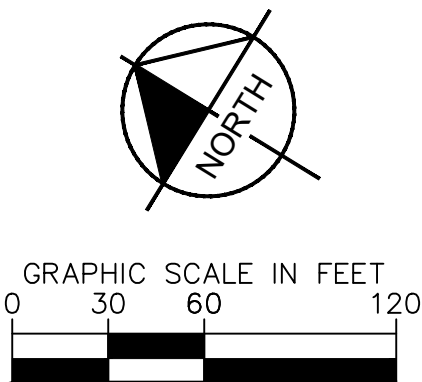
TITLE:
PRELIMINARY TRASH COLLECTOR
VEHICLE TURNING

DRAWING: C-800

E1	SCALE:	AGILE No:	REV:
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1. EXISTING CITY BIKE ROUTES ARE LOCATED ON CLAWITER ROAD AND EXTEND ONTO EDEN LANDING ROAD.
2. BUS STOPS ARE LOCATED ON EDEN LANDING ROAD AND AT THE INTERSECTION OF PRODUCTION AVE AND INVESTMENT BLVD. BOTH BUS STOPS WILL BE ACCESSIBLE BY PUBLIC SIDEWALK PROPOSED ALONG THE PROJECT FRONTAGE AND CONNECTING INTO EXISTING PUBLIC INFRASTRUCTURE.



Know what's below.
Call before you dig.

PROJECT ADDRESS

26062 EDEN LANDING RD
HAYWARD, CA 94545

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ISSUE DATE: 2 JAN 2023	PROJECT NO: 197459004
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DESIGNED: KIMLEY-HORN	ARCHITECT: HKS
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[illegible]

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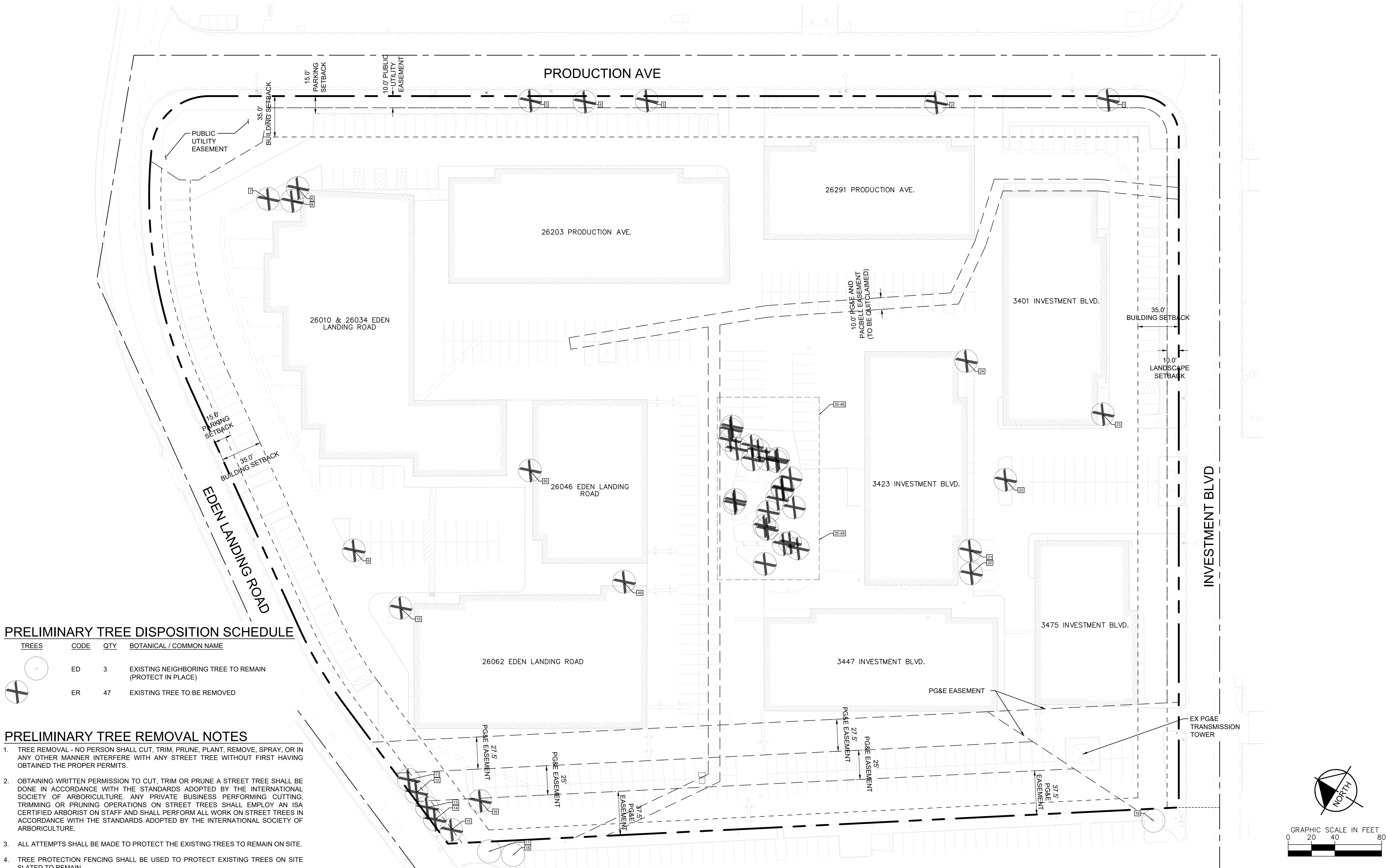
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CIVIL ENGINEER JIMLEY HORN ANTHONY VERA (312) 398-4840 637 E. 48th Street, DR4300 PLEASANTON, CA94588	STRUCTURAL ENGINEER HKS CLINT NASH (714) 989-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas texas 75201
ARCHITECT JUTCH WICKES (214) 969-5599 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas texas 75201	PLUMBING ENGINEER ESD GLOBAL STEVE WUTHRICH (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606

BUILDING A

TITLE: CIRCULATION PLAN

DRAWING: C-900

1	SCALE:	AGILE No:	REV:
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PRELIMINARY TREE DISPOSITION SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	ED	3	EXISTING NEIGHBORING TREE TO REMAIN (PROTECT IN PLACE)
	ER	47	EXISTING TREE TO BE REMOVED

PRELIMINARY TREE REMOVAL NOTES

- TREE REMOVAL - NO PERSON SHALL CUT, TRIM, PRUNE, PLANT, REMOVE, SPRAY, OR IN ANY OTHER MANNER INTERFERE WITH ANY STREET TREE WITHOUT FIRST HAVING OBTAINED THE PROPER PERMITS.
- OBTAINING WRITTEN PERMISSION TO CUT, TRIM OR PRUNE A STREET TREE SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. ANY PRIVATE BUSINESS PERFORMING CUTTING, TRIMMING OR PRUNING OPERATIONS ON STREET TREES SHALL EMPLOY AN ISA CERTIFIED ARBORIST ON STAFF AND SHALL PERFORM ALL WORK ON STREET TREES IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- ALL ATTEMPTS SHALL BE MADE TO PROTECT THE EXISTING TREES TO REMAIN ON SITE.
- TREE PROTECTION FENCING SHALL BE USED TO PROTECT EXISTING TREES ON SITE SLATED TO REMAIN.
- PRIOR TO AND DURING LAND CLEARING, INCLUDING GRUBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED WITH RED SURVEY RIBBONS AT 36 INCHES MINIMUM ABOVE GRADE.
- CONTRACTOR SHALL REMOVE ALL TREES ONLY AFTER THE TREE PROTECTION FENCING IS INSTALLED.
- ALL WOOD AND STUMPS FROM REMOVALS SHALL BE HAULED FROM THE SITE THE SAME DAY, EXCEPT FOR TOPS. ALL TOPS ARE TO BE MULCHED AND STOCKPILED OR HAULED DIRECTLY TO MULCHED AREAS FOR RELOCATED TREES IF SCHEDULING PERMITS. TOPS SHALL BE CHIPPED AND PLACED IN THE TREE PROTECTION ZONE TO A DEPTH OF THREE (3) INCHES. ALL EXCESS WOOD CHIPS SHOULD BE HAULED OFF SITE AFTER TRANSPLANTING IS COMPLETE.
- BURN PITS ARE PROHIBITED.
- TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN SHALL BE REMOVED BY THE CONSTRUCTION CONTRACTORS. THE CONTRACTOR SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TO REMAIN.

PRELIMINARY TREE PROTECTION NOTES

- THE LIMITS OF ALL TREE PROTECTION ZONES SHALL BE STAKED IN THE FIELD. A 6'-0" HIGH CHAIN LINK FENCE WITH POSTS SUNK INTO THE GROUND SHALL BE ERECTED TO ENCLOSE THE TREE PROTECTION ZONE.
- THE TREE PROTECTION ZONE (TPZ) IS DEFINED AS THE LARGER OF THE DRIP LINE OF THE TREE OR THE DISTANCE FROM THE TRUNK EQUAL TO ONE (1) FOOT FOR EACH INCH OF TRUNK DIAMETER MEASURED AT FOUR AND A HALF (4.5) FEET ABOVE EXISTING GRADE (AKA DBH; DIAMETER AT BREST HEIGHT).
- FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR MOVED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL USE THE SMALLEST EQUIPMENT POSSIBLE, AND OPERATE FROM OUTSIDE THE TREE PROTECTION ZONE.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROAD BED OF 6" OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6" DEPTH.
- CONSTRUCTION TRAILERS AND TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS AT ALL TIMES.
- NO MATERIALS, EQUIPMENT, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE. NO DEBRIS OR GARBAGE MAY BE DUMPED OR BURIED WITHIN THE TREE PROTECTION ZONE.
- ANY GRADING, CONSTRUCTION, DEMOLITION OR OTHER WORK THAT IS EXPECTED TO ENCOUNTER TREE ROOTS, MUST BE MONITORED BY THE LANDSCAPE ARCHITECT.
- ALL UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF REROUTING IS NOT POSSIBLE, TRENCHING WITHIN THE TPZ IS TO BE PERFORMED BY AIRSPADE UNDER THE SUPERVISION AND DIRECTION OF A LICENSED ARBORIST. IF AT ANY TIME, TWENTY-FIVE (25) PERCENT OF THE AREA WITHIN THE ROOT PROTECTION ZONE WOULD BE SEPARATED FROM THE TREE BY A TRENCH, THE LINE SHALL BE LOCATED BY BORING.
- NO ROOTS LARGER THAN ONE INCH (1.5") DIAMETER SHALL BE CUT UNLESS REVIEWED AND APPROVED BY LICENSED ARBORIST. ALL SMALLER ROOTS THAT REQUIRE CUTTING SHALL BE CUT WITH PRUNING SAWS (NO TRENCHES OR BACKHOES). CUTS SHALL BE MADE FLUSH WITH THE SIDE OF THE EXCAVATION.
- MINOR ROOT DAMAGE DURING GRADING OR CONSTRUCTION SHALL BE PRUNED TO SOUND TISSUE AND CUT CLEANLY WITH A SAW. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF EXTENSIVE ROOT DAMAGE.
- ADDITIONAL TREE PRUNING REQUIRED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A QUALIFIED ARBORIST OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND NOT BY CONSTRUCTION PERSONNEL.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- SPOIL FROM TRENCHES OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
- IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER TO RECOMMEND EVALUATION BY A LICENSED ARBORIST. PROCUREMENT OF A LICENSED ARBORIST SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK	DATE	DESCRIPTION
	7/12/24	PLANNING RESUBMITTAL #2

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MECHANICAL ENGINEER
ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER
STANTEC
REV BERNARDINO
(312) 551-9612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

CIVIL ENGINEER
KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA 94588

STRUCTURAL ENGINEER
HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

ARCHITECT
HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

PLUMBING ENGINEER
ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT: BUILDING A

TITLE: **PRELIMINARY TREE DISPOSITION PLAN**

DRAWING: **L-100**

E1 SCALE: AGILE No: REV:



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EDEN LANDING RD

Arborist Report 2023

Prepared For:
Verity Commercial Chicago
Attn: Leo Hoerdemann

Site: 26062 EDEN LANDING ROAD
HAYWARD, CA 94545

Submitted by:
David Beckham
Certified Arborist
WE#10724A
TRAQ Qualified



Kielty Arborist Services LLC
P.O. Box 6187
San Mateo, Ca 94403
(650) 532- 4418



less, with substantial dead wood, pest infestation, or decay. The tree is not expected to reach its natural lifespan.

Tree Structure Ratings:

- Good: Minor structural flaws can be addressed through pruning. The tree has an upright trunk with a single leader or can be easily trained to have one. Scaffold branches are smaller than the leader, attached to the trunk at angles approaching 45 degrees, and well-spaced vertically and radially. No included bark or signs of previous branch failures. Foliage is evenly distributed on the limbs, and the canopy is symmetrical or mostly symmetrical.
- Fair: Some structural flaws cannot be corrected through pruning. The tree may have multiple trunks or leaders, a slight lean, branches attached at angles less than 30 to 10 degrees, and/or crowding on the trunk. Included bark, previous branch failures, or end-heavy limbs may be present, and some asymmetry in the canopy may be observed.
- Poor: Significant structural flaws that cannot be addressed through pruning are evident. There may be significant dead wood or decay, multiple trunks or leaders, crowded branches on the trunk, significantly included bark, previous branch failures, and/or asymmetry. The tree may also exhibit a precipitous lean, indicating potential hazard.

Tree Form Ratings:

- Good: The tree's form is nearly ideal for its species, with minor asymmetries or deviations that do not compromise function or aesthetics. It aligns with the intended use and is consistent with the landscape.
- Fair: The tree's form displays major asymmetries or deviations from the species norm and/or intended use. This compromises function and/or aesthetics.
- Poor: The tree's form is largely asymmetric or abnormal, significantly detracting from the intended use and aesthetics. It is visually unappealing and provides little to no function in the landscape.

Suitability for Preservation (for protected trees only):

This rating is based solely on the tree itself, irrespective of potential construction impacts.

- Good: The tree is currently an asset to the landscape and can be expected to survive minor to moderate construction impacts with adequate protection.
- Fair: The tree contributes to the landscape and may benefit from pruning or other maintenance activities. It should survive minor construction impacts with adequate protection, and implementing protective measures is recommended unless construction impacts are extensive.
- Poor: The tree does not contribute to the landscape and is in poor health, potentially posing hazards. It is not expected to survive any construction impacts. Some trees with poor viability may be retained if they will not be impacted by construction.

Overall Condition Ratings:

The trees were assigned a condition rating based on a combination of existing tree health (50%) and tree structure (50%) using the following scale:

- 1-29: Very Poor
- 30-49: Poor
- 50-69: Fair
- 70-89: Good
- 90-100: Excellent



Date: 7/7/2023
Updated: 8/10/2023

Attn: Verity Commercial Chicago
Site: 26062 Eden Landing Road, Hayward, CA 94545

Subject Re: Tree removal and replacement for new building construction at 26062 Eden Landing Road, Hayward, CA 94545

Dear Verity Commercial Chicago,
At your request, Kielty Arborists Services LLC has visited the property referenced above to evaluate the trees present with respect to the proposed construction project. The report below contains the analysis of the site visit.

SUMMARY



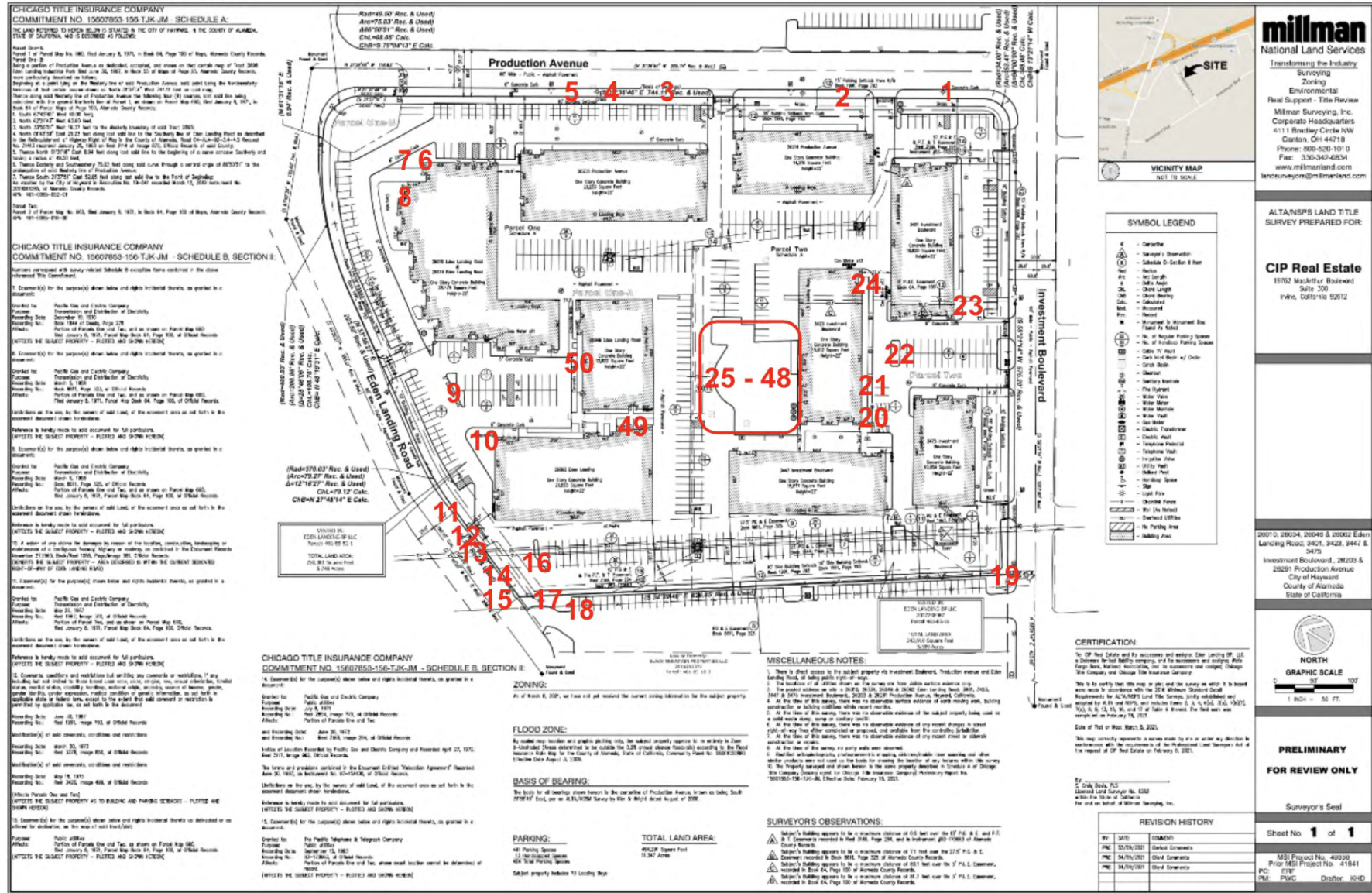
There are 50 trees on the property, 47 of which are protected (#1-18 & 20-48). All of the trees surveyed are proposed for removal to facilitate the proposed construction. 32 of the trees surveyed are in poor condition (#2-5, 8, 10, 13, & 25-48). Trees (#1, 6-7, 9, 11, 12, 14-16, 20-24, 49, and 50). No trees were given good or excellent tree condition ratings. A large grove of Blue Gum Eucalyptus trees were observed at the center of the property (#25-48). Recent eucalyptus tree failures were observed in the grove. All of the eucalyptus trees have been topped and are recommended to be removed regardless of the proposed construction as they are hazardous to the site. The site at Eden Landing Road looks to be in fair condition; various trees have not been well maintained in the past. The topography of the land is flat. All of the trees will need to be replaced per the appraised values of the trees. (Picture showing topped eucalyptus trees)

ASSIGNMENT

At the request of Verity Commercial Chicago, Kielty Arborists Services LLC conducted a site visit on 7/5/2023 to prepare a comprehensive Tree Inventory Report for the proposed construction project. This report is a requirement when submitting plans to the City of Hayward. The analysis in this report is based on the land title survey dated 3/8/21, and concept plan & design presentation dated 6/8/23 provided by Slack Infrastructure. .



Tree Location Map



The primary focus of this report is as follows:

- Identification and assessment of trees on the construction site that may be affected by the proposed development.
- Determination of potential impacts on tree health and stability, considering factors such as root damage and crown damage.
- Provision of recommendations for tree protection and preservation measures during the construction process to mitigate potential impacts.
- Ensuring compliance with local regulations pertaining to tree preservation, protection, and removal within the construction plans.

Please note that the report will provide specific details regarding tree assessments, impacts, and preservation measures.

INTRODUCTION

According to our past communications with city staff, the City of Hayward requires the following tree reporting elements for development projects:

- Inventory of all trees measuring 4" in diameter or larger.
- Map of tree locations.
- Tree protection, removal, or replacement recommendations for all trees eight inches in diameter or greater than 54 inches above the ground; or certain native species that are four inches in diameter or greater. Appraised values for each tree are also to be provided.

LIMITS OF THE ASSIGNMENT

As part of this assessment, it is important to note that Kielty Arborist Services LLC did not conduct an aerial inspection of the upper crown, a detailed root crown inspection, or a plant tissue analysis on the subject trees. Therefore, the information presented in this report does not include data obtained from these specific methods.

Furthermore, it is essential to clarify that no tree risk assessments were completed as part of this report unless stated otherwise. The focus of this assessment primarily centers on tree identification, general health evaluation, and the potential impacts of the proposed construction.

While the absence of these specific assessments limits the scope of the analysis, the findings and recommendations provided within this report are based on available information and observations made during the site visit.

PURPOSE & USE OF THE REPORT

This report informs tree management decisions for the construction project and provides recommendations to maximize tree survival. It serves as a valuable resource for stakeholders, facilitating informed discussions and sustainable tree management practices.



OBSERVATIONS

Tree #	Tree Picture #1	Common Name / Scientific Name	Trunk (in.)	Protected Tree	Presence or Removal	Height (ft.)	Canopy Spread (ft.)	Health Rating	Structural Rating	Form Rating	Suitability for Preservation	Condition Rating (0-100%)	Appraised Value	Comments
1		RAYWOOD ASH <i>Fraxinus angustifolia 'Waywood'</i>	21.3	Yes	(R)	40/35	Fair	Fair	Fair	Fair	Fair	55%	\$8,660	Deadwood at top of canopy
2		RAYWOOD ASH <i>Fraxinus angustifolia 'Waywood'</i>	22.3	Yes	(R)	40/30	Poor	Poor	Fair	Poor	Poor	30%	\$5,500	Excessive deadwood at top of the canopy
3		RAYWOOD ASH <i>Fraxinus angustifolia 'Waywood'</i>	16.7	Yes	(R)	35/30	Poor	Fair	Fair	Poor	Poor	45%	\$4,750	Excessive deadwood at top of canopy
4		RAYWOOD ASH <i>Fraxinus angustifolia 'Waywood'</i>	15.7	Yes	(R)	30/30	Poor	Fair	Fair	Poor	Poor	45%	\$4,290	Excessive deadwood at top of canopy
5		RAYWOOD ASH <i>Fraxinus angustifolia 'Waywood'</i>	19.5	Yes	(R)	40/30	Poor	Fair	Fair	Poor	Poor	30%	\$4,390	Circling roots, excessive deadwood at top of canopy
6		COAST REDWOOD <i>Sequoia sempervirens</i>	33.7	Yes	(R)	65/25	Good	Good	Good	Fair	Fair	60%	\$12,720	Surrounded by hardscape, close to structure, small root area for species
7		COAST REDWOOD <i>Sequoia sempervirens</i>	36.2	Yes	(R)	65/25	Good	Good	Good	Fair	Fair	60%	\$14,560	Surrounded by hardscape, close to structure, small root area for species
8		COAST REDWOOD <i>Sequoia sempervirens</i>	27.5	Yes	(R)	60/15	Poor	Poor	Fair	Poor	Poor	40%	\$5,040	In decline, stressed, top of tree dead, excessive deadwood
9		EVERGREEN PEAR <i>Pyrus kawakami</i>	11	Yes	(R)	15/25	Good	Fair	Fair	Fair	Fair	65%	\$2,180	Over extended, limb rust
10		COAST REDWOOD <i>Sequoia sempervirens</i>	29.7	Yes	(R)	50/20	Fair	Poor	Fair	Fair	Fair	45%	\$6,360	Top failed in past, close to structure
11		EVERGREEN PEAR <i>Pyrus kawakami</i>	14.1	Yes	(R)	20/25	Fair	Fair	Fair	Fair	Fair	60%	\$3,410	Rust on leaves

TESTING & ANALYSIS

In order to assess the trees, a thorough examination was conducted using a variety of methods. For trees with accessible trunks, precise measurements of the Diameter at Breast Height (DBH) were taken using a specialized diameter tape measure. In cases where the trunks were not readily accessible, visual estimations were employed to determine the DBH. As part of the inventory process, all trees exceeding a specific DBH threshold of 4-inches were included.

To evaluate the health of the trees, multiple factors were considered, including their overall appearance and our team's extensive experiential knowledge of each species. This holistic approach ensured a comprehensive understanding of the trees' well-being.

To accurately document the location of each tree, a GPS smartphone application was utilized during the data collection process. This enabled us to create detailed maps that are included in this report. However, it is important to note that despite our efforts to minimize errors, inherent limitations of GPS data collection, coupled with slight discrepancies between GPS data and CAD drawings, may result in approximate tree locations depicted on the map.

To perform this assessment, a site visit was conducted on 7/5/2023. During this visit, meticulous observations and high-quality photographs were obtained to provide a comprehensive analysis. The findings and recommendations presented in this report are based on the construction plans titled "SVY03 Stack Hayward Data Center" by HKS Inc. These plans were electronically provided to us via email and are dated 6/8/2023. By thoroughly analyzing these plans in conjunction with our field observations, we have developed an accurate and reliable assessment of the tree conditions.

METHOD OF INSPECTION

The inspections were conducted from the ground without climbing the trees. No tissue samples or root crown inspections were performed. The trees under consideration were identified based on the provided site plan. To assess the trees, their diameter at 54 inches above ground level (DBH or diameter at breast height) was measured using a D-Tape. Additionally, the protected trees were evaluated for their health, structure, form, suitability for preservation with the following explanation of the ratings:

Tree Health Ratings:

- Good: The tree displays vigorous growth with normal-sized, shaped, and colored foliage. The canopy density is between 90-100%, with minimal to no dead wood, minor or no pest infestation, and little to no decay. The tree is expected to have a natural lifespan.
- Fair: The new growth shoots may be shorter than expected, and the canopy density ranges from 60-90%. Some small branch dieback, noticeable pest infestation, and/or decay may be present. Although the tree is not currently in decline, external factors such as construction impacts, increased pest pressure, or drought may affect its health.
- Poor: The tree exhibits little to no new growth and significant dieback. The foliage may be undersized, distorted, yellowed, or display abnormal colors. The canopy density is 20-60% or

CONFIDENTIAL

PROJECT ADDRESS

26062 EDEN LANDING RD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

ENTITLEMENT REVIEW

SEAL/SIGNATURE

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK DATE DESCRIPTION

7/12/24 PLANNING RESUBMITTAL #2

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

CIVIL ENGINEER

KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
PLEASANTON, CA94588

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

ELECTRICAL ENGINEER

STANTEC
REV BERNARDINO
(312) 551-8612
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

STRUCTURAL ENGINEER

CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

PLUMBING ENGINEER

ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

PROJECT:

BUILDING A

PRELIMINARY ARBORIST REPORT

DRAWING:

L-101

E1

SCALE:

AGILE No:

REV:

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50 trees were surveyed on this property. The surveyed species are comprised of the following:

- Raywood ash, redwood, evergreen pear, Bradford pear, purple-leaf plum, crepe myrtle, and blue gum.

'protected' Size Trees: Total = 47 (#1-16, 20-48)
'unprotected' Size Trees: Total = 3 (#49, 50)

As defined by the City Of Hayward Municipal Code: *SEC. 10-15.13 - PROTECTED TREES.*
The following trees, when located on properties to which this Ordinance applies as set forth in
Section 10-15.11 above, shall be Protected Trees:

- b. *California Buckeye Aesculus californica*
- c. *Madrone Arbutus menziesii*
- d. *Western Dogwood Cornus nuttallii*
- e. *California Sycamore Platanus racemosa*
- f. *Coast Live Oak Quercus agrifolia*
- g. *Canyon Live Oak Quercus chrysolepis*
- h. *Blue Oak Quercus douglasii*
- i. *Oregon White Oak Quercus garryana*
- j. *California Black Oak Quercus kelloggii*
- k. *Valley Oak Quercus lobata*
- l. *Interior Live Oak Quercus wislizenii*
- m. *California Bay Umbellularia californica*

5.A tree or trees of any size planted as a replacement for a Protected Tree. Trees located on a developed single-family residential lot that cannot be further subdivided are exempt unless they have been required or protected as a condition of approval.



Comment: Indicate location, trunk diameter, species, and approximate dripline of trees. Retain significant trees and native vegetation that are in good condition, and avoid grading and paving within the dripline of the trees. The City Landscape Architect may require an arborist report.

- Parking Lot Landscaping – minimum one 15-gallon tree for every six parking stalls; tree wells on landscape medians minimum 5' wide; parking rows capped with landscape medians.*

The Reproduction Cost Method, Trunk Formula Technique was used for this section. This methodology was taken from the Guide For Plant Appraisal 10th Edition, by The Council Of Tree & Landscape Appraisers. This methodology is widely used for tree inventories, preconstruction, bonding, and some insurance claims. Reproduction cost is the cost to replicate or duplicate the item being appraised. Generally, this means estimating the cost of replacing the landscape item with one that is close to identical and thereby providing most or all of the characteristics and benefits of the original. When depreciation is applied to a reproduction cost, the result is termed a depreciated reproduction cost.

Detailed charts listed on pp. 16-18 of this document. Total reproduction cost of trees being removed = \$168,080

New construction of a data center and associated power facilities is proposed. Site plans SVY03 Stack Hayward Data Center, pp. #1-7, dated 6/8/2023, and Alta Survey - Eden Landing, sheet 1 of 1, dated 2/1/2021 were reviewed for the initial tree survey. All trees present on the construction site are proposed for removal.

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PROJECT: BUILDING A

DRAWING: L-102



CONCLUSIONS

Given that all trees are being removed to facilitate the proposed construction, it is necessary to replace trees that fall within the *Landscape Design Checklist*, as defined by the City of Hayward. By doing so, the developer will be in compliance with ordinance set forth by the City of Hayward. Following these steps ensure the property owners can maintain a healthy tree population that will add value to the property and benefit the environment.

ASSUMPTIONS AND LIMITING CONDITIONS

- Legal Descriptions and Titles:** The consultant/arborist assumes the accuracy of any legal description and titles provided. No responsibility is assumed for any legal due diligence. The consultant/arborist shall not be held liable for any discrepancies or issues arising from incorrect legal descriptions or faulty titles.
- Compliance with Laws and Regulations:** The property is assumed to be in compliance with all applicable codes, ordinances, statutes, or other government regulations. The consultant/arborist is not responsible for identifying or rectifying any non-compliance.
- Reliability of Information:** Though diligent efforts have been made to obtain and verify information, the consultant/arborist is not responsible for inaccuracies or incomplete data provided by external sources. The client accepts full responsibility for any decisions or actions taken based on this data.
- Testimony or Court Attendance:** The consultant/arborist has no obligation to provide testimony or attend court regarding this report unless mutually agreed upon through separate written agreements, which may incur additional fees.
- Report Integrity:** Unauthorized alteration, loss, or reproduction of this report renders it invalid. The consultant/arborist shall not be liable for any interpretations or conclusions made from altered reports.
- Restricted Publication and Use:** This report is exclusively for the use of the original client. Any other use or dissemination, without prior written consent from the consultant/arborist, is strictly prohibited.
- Non-disclosure to Public Media:** The client is prohibited from using any content of this report, including the consultant/arborist's identity, in any public communication without prior written consent.
- Opinion-based Report:** The report represents the independent, professional judgment of the consultant/arborist. The fee is not contingent upon any pre-determined outcomes, values, or events.
- Visual Aids Limitation:** Visual aids are for illustrative purposes and should not be considered precise representations. They are not substitutes for formal engineering, architectural, or survey reports.
- Inspection Limitations:** The consultant/arborist's inspection is limited to visible and accessible components. Non-invasive methods are used. There is no warranty or guarantee that problems will not develop in the future.



ARBORIST DISCLOSURE STATEMENT

Arborists specialize in the assessment and care of trees using their education, knowledge, training, and experience.

- Limitations of Tree Assessment:** Arborists cannot guarantee the detection of all conditions that could compromise a tree's structure or health. The consultant/arborist makes no warranties regarding the future condition of trees and shall not be liable for any incidents or damages resulting from tree failures.
- Remedial Treatments Uncertainty:** Remedial treatments for trees have variable outcomes and cannot be guaranteed.
- Considerations Beyond Scope:** The consultant/arborist's services are confined to tree assessment and care. The client assumes responsibility for matters involving property boundaries, ownership, disputes, and other non-arboricultural considerations.
- Inherent Risks:** Living near trees inherently involves risks. The consultant/arborist is not responsible for any incidents or damages arising from such risks.
- Client's Responsibility:** The client is responsible for considering the information and recommendations provided by the consultant/arborist and for any decisions made or actions taken.

The client acknowledges and accepts these Assumptions and Limiting Conditions and Arborist Disclosure Statement, recognizing that reliance upon this report is at their own risk. The consultant/arborist disclaims all warranties, express or implied.

CERTIFICATION

I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith

David Beckham

David Beckham - July 7th, 2023

Signature of Consultant



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Tree Tag #	Common Name / Scientific Name	Approximate Value	Caliber	Condition Rating	Estimated Life Span (Years)	Estimated Future Value (at 10% discount)	Estimated Future Value (at 20% discount)	Estimated Future Value (at 30% discount)	Estimated Future Value (at 40% discount)	Estimated Future Value (at 50% discount)	Estimated Future Value (at 60% discount)	Estimated Future Value (at 70% discount)	Estimated Future Value (at 80% discount)	Estimated Future Value (at 90% discount)	Estimated Future Value (at 100% discount)	Comments
1	RAYWOOD ASH <i>Fraxinus angustifolia</i> 'Raywood'	\$8,860	21.3	55.00%	60.00%	356.33	\$350	\$111	3.14	\$38,686	\$7,860	\$6,660				Deadwood at top of canopy
2	RAYWOOD ASH <i>Fraxinus angustifolia</i> 'Raywood'	\$5,960	22.3	30.00%	60.00%	396.97	\$350	\$111	3.14	\$43,513	\$4,899	\$6,499				Excessive deadwood at top of canopy
3	RAYWOOD ASH <i>Fraxinus angustifolia</i> 'Raywood'	\$4,780	16.7	45.00%	60.00%	218.04	\$350	\$111	3.14	\$24,453	\$3,853	\$6,753				Excessive deadwood at top of canopy
4	RAYWOOD ASH <i>Fraxinus angustifolia</i> 'Raywood'	\$4,290	16.7	45.00%	60.00%	193.59	\$350	\$111	3.14	\$21,568	\$3,464	\$4,264				Excessive deadwood at top of canopy
5	RAYWOOD ASH <i>Fraxinus angustifolia</i> 'Raywood'	\$4,380	19.5	30.00%	60.00%	298.65	\$350	\$111	3.14	\$33,272	\$3,593	\$6,000	\$4,383			Cracking north, excessive deadwood at top of canopy
6	COAST REDWOOD <i>Sequoia sempervirens</i>	\$12,728	31.7	60.00%	40.00%	691.97	\$350	\$111	3.14	\$93,375	\$11,825	\$12,725				Surrounded by hardwoods, close to structure, small root area for species
7	COAST REDWOOD <i>Sequoia sempervirens</i>	\$14,360	36.2	60.00%	40.00%	1029.22	\$350	\$111	3.14	\$114,664	\$13,760	\$14,560				Surrounded by hardwoods, close to structure, small root area for species
8	COAST REDWOOD <i>Sequoia sempervirens</i>	\$5,460	27.5	45.00%	40.00%	593.96	\$350	\$111	3.14	\$66,122	\$4,235	\$5,035				In decline, stressed, top of tree dead, excessive deadwood
9	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$2,180	11	60.00%	40.00%	99.03	\$350	\$111	3.14	\$10,568	\$1,376	\$6,176				Over extended, limb rust
10	COAST REDWOOD <i>Sequoia sempervirens</i>	\$6,360	29.7	45.00%	40.00%	662.79	\$350	\$111	3.14	\$77,163	\$5,057	\$6,057				Top killed in past, close to structure
11	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$3,410	14.1	60.00%	60.00%	156.15	\$350	\$111	3.14	\$17,356	\$2,859	\$6,000	\$3,409			Rust on leaves
12	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$2,460	11.3	60.00%	60.00%	100.29	\$350	\$111	3.14	\$11,173	\$1,676	\$6,000	\$2,476			Rust on leaves
13	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$1,860	10.7	45.00%	60.00%	89.92	\$350	\$111	3.14	\$10,018	\$1,002	\$6,000	\$1,802			Previous limb loss, deadwood
14	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$2,780	12.3	60.00%	60.00%	118.82	\$350	\$111	3.14	\$12,238	\$1,866	\$6,000	\$2,786			Co-dominant at 6 ft, rust on leaves
15	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$2,850	12.5	60.00%	60.00%	122.72	\$350	\$111	3.14	\$13,672	\$2,001	\$6,000	\$2,851			Rust on leaves
16	EVERGREEN PEAR <i>Pyrus kawakami</i>	\$1,610	6.8	60.00%	40.00%	60.82	\$350	\$111	3.14	\$6,776	\$613	\$6,000	\$1,613			Co-dominant at 6 feet, in small planting strip, rust on leaves
17*	BRADFORD PEAR <i>Pyrus brydenii</i>	-	6.7	-	-	-	-	-	-	-	-	-	-	-	-	Co-dominant at 7 feet
18*	EVERGREEN PEAR <i>Pyrus kawakami</i>	-	11	-	-	-	-	-	-	-	-	-	-	-	-	Fell in the past, lying on the ground, co-dominant at 11 ft
19*	PURPLE LEAF PLUM <i>Prunus coccinea</i>	-	6.9	-	-	-	-	-	-	-	-	-	-	-	-	Topped in past
20	POWAWATON CHAPE MYRTLE <i>Lagerstromia indica</i>	\$2,330	10.6	65.00%	40.00%	68.25	\$350	\$111	3.14	\$9,632	\$1,034	\$6,000	\$2,334			Surrounded by hardwoods, close to building
21	POWAWATON CHAPE MYRTLE <i>Lagerstromia indica</i>	\$2,220	10.2	65.00%	40.00%	60.71	\$350	\$111	3.14	\$9,104	\$1,400	\$6,000	\$2,220			Surrounded by hardwoods, close to building
22	POWAWATON CHAPE MYRTLE <i>Lagerstromia indica</i>	\$2,760	11.8	65.00%	40.00%	106.36	\$350	\$111	3.14	\$12,144	\$1,801	\$6,000	\$2,751			Surrounded by hardwoods
23	POWAWATON CHAPE MYRTLE <i>Lagerstromia indica</i>	\$2,780	11.6	65.00%	40.00%	106.36	\$350	\$111	3.14	\$12,144	\$1,801	\$6,000	\$2,751			Co-dominant at grade, close to building

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Tree Tag #	Common Name / Scientific Name	Approximate Value	Caliber	Condition Rating	Estimated Life Span (Years)	Estimated Future Value (at 10% discount)	Estimated Future Value (at 20% discount)	Estimated Future Value (at 30% discount)	Estimated Future Value (at 40% discount)	Estimated Future Value (at 50% discount)	Estimated Future Value (at 60% discount)	Estimated Future Value (at 70% discount)	Estimated Future Value (at 80% discount)	Estimated Future Value (at 90% discount)	Estimated Future Value (at 100% discount)	Comments
24	POWAWATON CHAPE MYRTLE <i>Lagerstromia indica</i>	\$2,390	10.5	65.00%	40.00%	65.56	\$350	\$111	3.14	\$9,647	\$1,505	\$6,000	\$2,305			Co-dominant at grade, close to building
25	BLUE OLM <i>Euonymus alatus</i>	\$2,840	31.3	30.00%	20.00%	40.00%	784.54	\$350	\$111	3.14	\$65,176	\$2,344	\$6,000	\$2,844		Topped in past, species high risk of future limb failure
26	BLUE OLM <i>Euonymus alatus</i>	\$2,240	26.2	30.00%	20.00%	40.00%	526.13	\$350	\$111	3.14	\$60,264	\$1,942	\$6,000	\$2,242		Topped in past, species high risk of future limb failure
27	BLUE OLM <i>Euonymus alatus</i>	\$6,136	56.4	30.00%	20.00%	40.00%	1995.04	\$350	\$111	3.14	\$222,264	\$6,134	\$6,000	\$6,134		Topped in past, species high risk of future limb failure
28	BLUE OLM <i>Euonymus alatus</i>	\$3,630	36.7	30.00%	20.00%	40.00%	1037.65	\$350	\$111	3.14	\$117,853	\$2,628	\$6,000	\$3,628		Topped in past, species high risk of future limb failure
29	BLUE OLM <i>Euonymus alatus</i>	\$4,360	41.2	30.00%	20.00%	40.00%	1335.17	\$350	\$111	3.14	\$148,626	\$3,565	\$6,000	\$4,365		Topped in past, species high risk of future limb failure
30	BLUE OLM <i>Euonymus alatus</i>	\$2,390	26.7	30.00%	20.00%	40.00%	559.90	\$350	\$111	3.14	\$62,379	\$1,467	\$6,000	\$2,297		Topped in past, species high risk of future limb failure
31	BLUE OLM <i>Euonymus alatus</i>	\$2,110	25	30.00%	20.00%	40.00%	490.88	\$350	\$111	3.14	\$54,688	\$1,313	\$6,000	\$2,113		Topped in past, species high risk of future limb failure
32	BLUE OLM <i>Euonymus alatus</i>	\$1,920	25.1	30.00%	20.00%	40.00%	419.10	\$350	\$111	3.14	\$46,691	\$1,121	\$6,000	\$1,921		Topped in past, species high risk of future limb failure
34	BLUE OLM <i>Euonymus alatus</i>	\$2,820	21	30.00%	20.00%	40.00%	724.77	\$350	\$111	3.14	\$64,066	\$2,014	\$6,000	\$2,816		Topped in past, species high risk of future limb failure
33	BLUE OLM <i>Euonymus alatus</i>	\$2,230	26.1	30.00%	20.00%	40.00%	636.02	\$350	\$111	3.14	\$59,806	\$1,451	\$6,000	\$2,231		Topped in past, species high risk of future limb failure
35	BLUE OLM <i>Euonymus alatus</i>	\$1,930	23.2	30.00%	20.00%	40.00%	422.73	\$350	\$111	3.14	\$47,066	\$1,100	\$6,000	\$1,930		Topped in past, species high risk of future limb failure
36	BLUE OLM <i>Euonymus alatus</i>	\$2,220	26	30.00%	20.00%	40.00%	530.93	\$350	\$111	3.14	\$59,150	\$1,400	\$6,000	\$2,220		Topped in past, species high risk of future limb failure
37	BLUE OLM <i>Euonymus alatus</i>	\$2,650	29.7	30.00%	20.00%	40.00%	662.79	\$350	\$111	3.14	\$77,163	\$1,852	\$6,000	\$2,652		Topped in past, species high risk of future limb failure
38	BLUE OLM <i>Euonymus alatus</i>	\$2,720	30.2	30.00%	20.00%	40.00%	716.32	\$350	\$111	3.14	\$79,804	\$1,915	\$6,000	\$2,716		Topped in past, species high risk of future limb failure
39	BLUE OLM <i>Euonymus alatus</i>	\$5,480	36.7	30.00%	20.00%	40.00%	1030.88	\$350	\$111	3.14	\$171,516	\$2,676	\$6,000	\$5,476		Topped in past, species high risk of future limb failure
40	BLUE OLM <i>Euonymus alatus</i>	\$1,740	21.2	30.00%	20.00%	40.00%	392.99	\$350	\$111	3.14	\$39,328	\$944	\$6,000	\$1,744		Topped in past, species high risk of future limb failure
41	BLUE OLM <i>Euonymus alatus</i>	\$2,690	24.4	30.00%	20.00%	40.00%	467.60	\$350	\$111	3.14	\$52,094	\$1,200	\$6,000	\$2,690		Topped in past, species high risk of future limb failure
42	BLUE OLM <i>Euonymus alatus</i>	\$3,370	35	30.00%	20.00%	40.00%	962.10	\$350	\$111	3.14	\$107,188	\$2,373	\$6,000	\$3,373		Topped in past, species high risk of future limb failure
43	BLUE OLM <i>Euonymus alatus</i>	\$2,110	25	30.00%	20.00%	40.00%	490.88	\$350	\$111	3.14	\$54,688	\$1,313	\$6,000	\$2,113		Topped in past, species high risk of future limb failure
44	BLUE OLM <i>Euonymus alatus</i>	\$2,680	24.7	30.00%	20.00%	40.00%	479.16	\$350	\$111	3.14	\$53,363	\$1,261	\$6,000	\$2,681		Topped in past, species high risk of future limb failure
45	BLUE OLM <i>Euonymus alatus</i>	\$2,990	32.3	30.00%	20.00%	40.00%	619.40	\$350	\$111	3.14	\$91,288	\$2,361	\$6,000	\$2,991		Topped in past, species high risk of future limb failure
46	BLUE OLM <i>Euonymus alatus</i>	\$5,840	40	30.00%	20.00%	40.00%	1685.75	\$350	\$111	3.14	\$210,086	\$5,042	\$6,000	\$5,842		Topped in past, species high risk of future limb failure

Eden Landing Rd | Arborist Report 2023

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CONFIDENTIAL

PROJECT ADDRESS

26062 EDEN LANDING RD
HAYWARD, CA 94545

PROJECT DELIVERY PACKAGE

ENTITLEMENT REVIEW

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004

DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK DATE DESCRIPTION

7/12/24 PLANNING RESUBMITTAL #2

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MECHANICAL ENGINEER

ESD GLOBAL
MIKE YOUNG
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

ELECTRICAL ENGINEER

STANTEC
REV BERNARDINO
(312) 551-9512
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606-6368

CIVIL ENGINEER

KIMLEY HORN
ANTHONY VERA
(925) 398-4840
4637 CHABOT DR#300
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

STRUCTURAL ENGINEER

HKS
CLINT NASH
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

ARCHITECT

HKS
DUTCH WICKES
(214) 969-5599
One Dallas Center
350N. Saint Paul Street, Suite 100
Dallas Texas 75201

PLUMBING ENGINEER

ESD GLOBAL
STEVE WUTHRICH
(312) 372-1200
233 South Wacker Drive
Suite 5300
Chicago, Illinois 60606

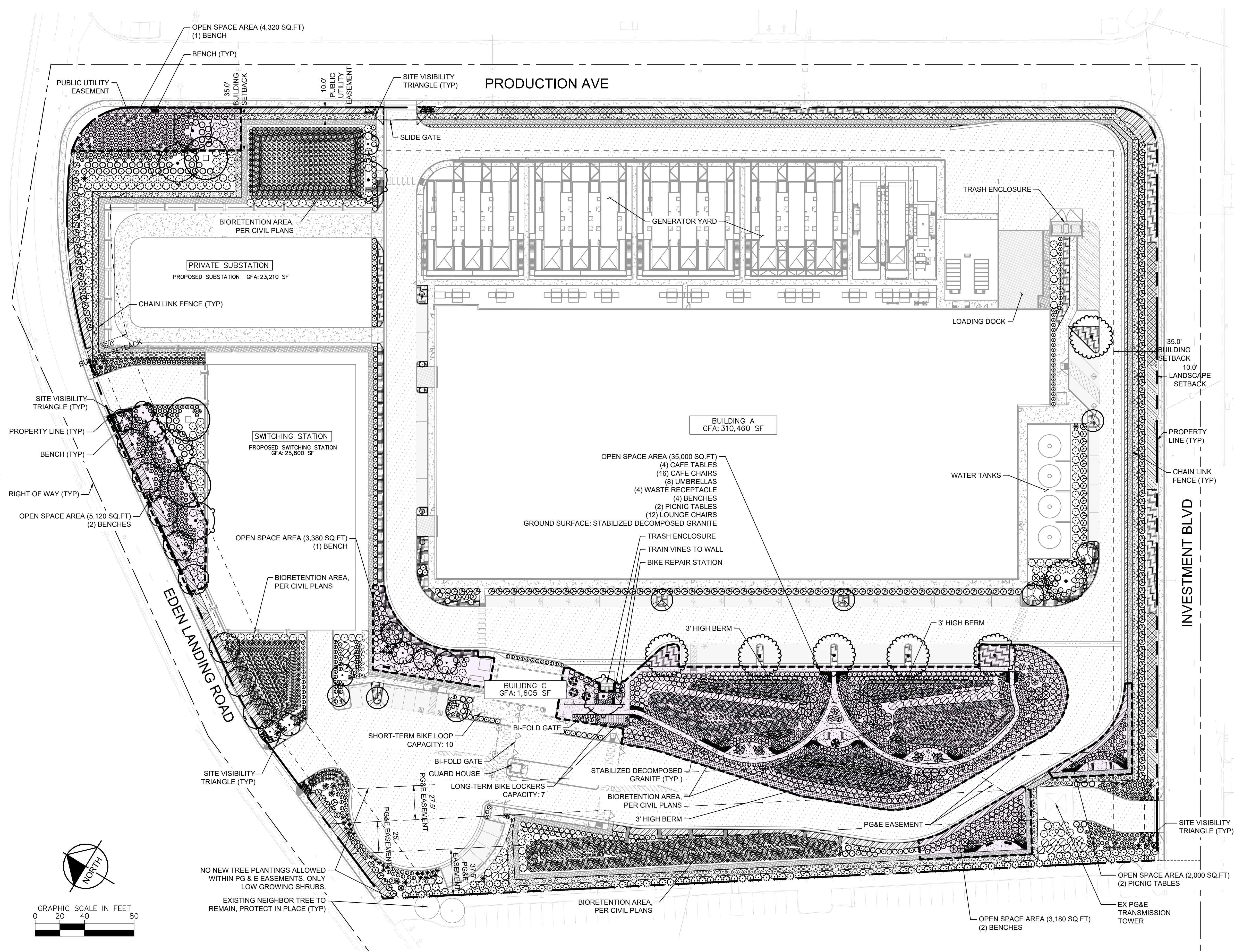
PROJECT: BUILDING A

PRELIMINARY ARBORIST
REPORT

DRAWING: L-103

E1 SCALE: AGILE No: REV:

TREES		
	CO	CERCIS OCCIDENTALIS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET'
	LN	LAURUS NOBILIS
	PE	PINUS ELДАРICA
	PC	PISTACIA CHINENSIS
	QF	QUERCUS ROBUR FASTIGIATA
	QS	QUERCUS SUBER
SHRUBS		
	AM	ACHILLEA MILLEFOLIUM
	AB	AGAVE ATTENUATA
	AD	ARCTOSTAPHYLOS DENSIFLORA
	AS	ASCLEPIAS SPECIOSA
	BG	BOUTELOUA GRACILIS
	DI	DIETES IRIDIOIDES
	EH	EPIOBIUM CANUM
	HS	HELICTOTRICHON SEMPERVIRENS
	NF	NEPETA X FAASSENII
	OM	OLEA EUROPAEA 'MONTRA' TM
	PO	PENNISETUM ALOPECUROIDES
	PT	PHORMIUM TENAX
	PR	PHORMIUM X 'AMAZING RED'
	PS	PITTOSPORUM TOBIRA 'SHIMA'
	RM	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'
	RC	RHAPHIOLEPIS INDICA 'CLARA'
	SC	SALVIA CLEVELANDII
	SL	SALVIA LEUCANTHA
	WM	WESTRINGIA FRUTICOSA 'MORNING LIGHT'
BIO-RETENTION		
	CT	CHONDROPETALUM TECTORUM
	JP	JUNCUS PATENS
	MR	MUHLENBERGIA RIGENS
VINES		
	PU	PARTHENOCEISSUS TRICUSPIDATA
GROUND COVERS		
	BI	BACCHARIS PILULARIS 'PIGEON POINT'
	CG	CARISSA MACROCARPA 'GREEN CARPET'
	CH	CEANOTHUS X 'CENTENNIAL'
	CB	COTONEASTER DAMMERI 'CORAL BEAUTY'
	MP	MYOPORUM PARVIFOLIUM
ROCK MULCH		
	XA	3" DEPTH CRUSHED GRAVEL
		OPEN SPACE AREA (REFERENCE SHEET L-201 FOR TOTAL SQ.FT.)



THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. BARK MULCH SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF HAYWARD MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

MATTHEW J. MORGAN, LLA 6256

PROJECT ADDRESS
26062 EDEN LANDING RD HAYWARD, CA 94545
PROJECT DELIVERY PACKAGE
ENTITLEMENT REVIEW

SEAL/SIGNATURE _____

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<p><u>MECHANICAL ENGINEER</u> ESD GLOBAL MIKE YOUNG (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606</p>	<p><u>ELECTRICAL ENGINEER</u> STANTEC REY BERNARDINO (312) 551-8612 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606-6368</p>
<p><u>CIVIL ENGINEER</u> KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 CHABOT DR#300 PLEASANTON, CA94588</p>	<p><u>STRUCTURAL ENGINEER</u> HKS CLINT NASH (214) 969-5559 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201</p>
<p><u>ARCHITECT</u> HKS DUTCH WICKES (919) 372-1200 One Dallas Center 350N. Saint Paul Street, Suite 100 Dallas Texas 75201</p>	<p><u>PLUMBING ENGINEER</u> ESD GLOBAL STEVE WUTHRICH (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606</p>

PROJECT:		BUILDING A	
TITLE:		PRELIMINARY LANDSCAPE PLAN	
DRAWING:		L-200	
E1	SCALE:	AGILE No:	REV:



Know what's below.
Call before you dig.

STATE OF CALIFORNIA PRELIMINARY ESTIMATED WATER USAGE

TOTAL WATER USE IS CALCULATED BY SUMMING THE AMOUNT OF WATER ESTIMATED FOR EACH HYDROZONE. WATER USE FOR EACH HYDROZONE IS ESTIMATED WITH THE FOLLOWING FORMULA:

ESTIMATED TOTAL WATER USE (ETWU) = GAL / YEAR PER HYDROZONE

ET ADJUSTMENT FACTOR (ETAF) =
0.55 ETAF FOR RESIDENTIAL LANDSCAPE
0.45 ETAF FOR NON-RESIDENTIAL LANDSCAPE
0.8 ETAF FOR EXISTING NON-REHABILITATED LANDSCAPE
SPECIAL LANDSCAPE SHALL NOT EXCEED 1.0 ETAF

PLANT FACTOR (PF) = WATER USE CLASSIFICATION OF LANDSCAPE SPECIES

HYDROZONE AREA (HA) = (SF OF LANDSCAPE) OR (32 SF / TREE)

CONVERSION FACTOR (CONVERTS ACRE-INCHES PER ACRE PER YEAR TO GALLONS PER SQUARE FOOT PER YEAR = 0.62

IRRIGATION EFFICIENCY (IE) = 0.75 (OVERHEAD SPRAY) 0.81 (DRIP)

SPECIAL LANDSCAPE AREA (SLA) = SF OF EDIBLE PLANTS, RECREATIONAL AREAS, AREAS IRRIGATED WITH RECYCLED WATER, OR WATER FEATURES USING RECYCLED WATER

EVAPOTRANSPIRATION RATE (ET_o) = QUANTITY OF WATER EVAPORATED FROM ADJ. SOIL AND TRANSPIRED BY PLANTS OVER A SPECIFIED TIME

ETWU = [(ET_o) * (PF) * (HA) * (0.62)] / (IE)

MAWA = (ET_o) * (0.62) [ETAF] * (SUM OF SLA & HA)] + [(1-ETAF) * (SLA)]

HYDROZONE "A" (LOW WATER USE - DRIPLINE) BIORETENTION - SLOPES & BASIN (ON-SITE)

ETO	PF	HA	CONVERSION FACTOR	IE	SLA	ETWU (GAL/YEAR)
44.20	0.30	20,598	0.62	0.81	-	209,062.07

HYDROZONE "B" (LOW WATER USE - DRIPLINE) GENERAL LANDSCAPE (ON-SITE)

ETO	PF	HA	CONVERSION FACTOR	IE	SLA	ETWU (GAL/YEAR)
44.20	0.30	81,582	0.62	0.81	-	828,027.08

HYDROZONE "C" (LOW WATER USE - DRIPLINE) GENERAL LANDSCAPE - ALONG PERIMETER (ON-SITE)

ETO	PF	HA	CONVERSION FACTOR	IE	SLA	ETWU (GAL/YEAR)
44.20	0.30	11,408	0.62	0.81	-	115,786.97

HYDROZONE "D" (MOD WATER USE - BUBBLERS) TREES (ON-SITE)

ETO	PF	HA	CONVERSION FACTOR	IE	SLA	ETWU (GAL/YEAR)
44.20	0.50	1,760	0.62	0.81	-	29,772.25

ESTIMATED TOTAL WATER USE (GAL/YEAR)

1,182,648.38

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

ETO	SUM OF HA	CONVERSION FACTOR	ETAF	SUM OF SLA	MAWA(GAL/YEAR)
44.20	115,348.00	0.62	0.45		1,422,448.47

MAXIMUM APPLIED WATER ALLOWANCE (GAL/YEAR)

1,422,448.47




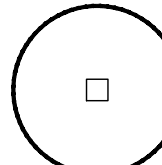
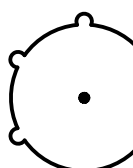

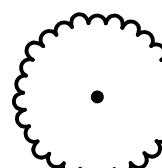



















MAXIMUM APPLIED WATER ALLOWANCE PERCENT OF ESTIMATED TOTAL WATER USE

83.14%

Tree Mitigation Summary Chart				
Required Trees	Required Tree Quantity / Size / Installed Unit Cost	Proposed Tree Quantity / Size / *Installed Unit Cost	Unit Cost Difference (Proposed size-required size)	MITIGATION VALUE (\$)
Cercis occidentalis (Additional Mitigation Trees)		9 / 24-inch box / \$429	\$429	\$3,861
Juniperus scopulorum 'Skyrocket' (Parking Lot Endcaps)	5 / 15-gallon / \$227	5 / 24-inch box / \$300	\$0	\$1,500
Juniperus scopulorum 'Skyrocket' (Additional Mitigation Trees)	7 / 15-gallon / \$227	7 / 24-inch box / \$300	\$0	\$2,100
Laurus nobilis (Street Tree)	60 / 24-inch box / \$423	8 / 24-inch box / \$423	\$0	\$0
Pinus eldarica (Additional Mitigation Trees)		3 / 24-inch box / \$356	\$356	\$1,068
Pistacia Chinensis (Additional Mitigation Trees)		5 / 24-inch box / \$394	\$394	\$1,970
Quercus robur 'Fastigiata' (Parking Lot Endcaps)	5 / 15-gallon / \$227	5 / 24-inch box / \$455	\$227	\$2,275
Quercus robur 'Fastigiata' (Parking Lot)	3 / 15-gallon / \$227	3 / 24-inch box / \$455	\$227	\$1,365
Quercus robur 'Fastigiata' (Additional Mitigation Trees)		2 / 24-inch box / \$455	\$455	\$910
Quercus suber (Parking Lot Endcaps)	3 / 15-inch box / \$406	3 / 24-inch box / \$406	\$406	\$3,248
Quercus suber (Parking Lot)	3 / 15-inch box / \$406	3 / 24-inch box / \$406	\$406	\$3,248
Quercus suber (Additional Mitigation Trees)		2 / 24-inch box / \$406	\$406	\$812
NOTES FOR REVIEWER: 1. Parking lot and street tree required tree quantity calculation excludes portions of site within PG&E transmission line easements. 2. No required buffer/screening tree planting at rear of the property. 3. *Installed unit cost is based on two times of an average whole price of three (3) major nurseries.			TOTAL MITIGATION VALUE	\$22,357
			MITIGATION GOAL	\$168,080
			BALANCE	\$145,723

<h1 style="text-align: center;">LANDSCAPE DATA TABLE</h1>	
TOTAL SITE AREA: 500,287 SQ.FT	
TOTAL LANDSCAPE AREA (PREVIOUS): 135,643 SQ.FT (3.114 ACRES)	
TOTAL LANDSCAPE AREA PERCENTAGE: 27.1%	
TOTAL OPEN SPACE AREA: 53,000 SQ.FT (1.216 ACRES) 10%	
PROJECT TYPE: PRIVATE	
IRRIGATION WATER SUPPLY TYPE: POTABLE	
OVERALL GALLON-PER-MINUTE DEMAND OF IRRIGATION SYSTEM: 74 GPM	
TOTAL NEW TREES: 55 - 24" BOX SIZED	
TOTAL NEW TREES \$ VALUE: \$22,357	
TOTAL TREES TO BE REMOVED \$ VALUE: \$168,080	

PRELIMINARY PLANTING SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT/SPREAD	CAL.	WUCOLS	SIZE AT MATURITY
TREES								
	CO	9	CERCIS OCCIDENTALIS / WESTERN REDBUD	24" BOX	7'-8' HT. X 2'-3' SPR.	1" CAL.	VERY LOW	15-18' HT. X 15-18' SPR.
	JS	12	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	24" BOX	8-10' HT. X 1-2' SPR.	1" CAL.	LOW	15-20' HT. X 2-3' SPR.
	LN	8	LAURUS NOBILIS / SWEET BAY	24" BOX	7'-8' HT. X 2'-3' SPR.	1" CAL.	LOW	25-35' HT. X 25-35' SPR.
	PE	3	PINUS ELДАРICA / AFGHAN PINE	24" BOX	5'-6' HT. X 2'-3' SPR.	1" CAL.	LOW	50-60' HT. X 25-35' SPR.
	PC	5	PISTACIA CHINENSIS / CHINESE PISTACHE	24" BOX	7'-8' HT. X 2'-3' SPR.	1" CAL.	LOW	25-35' HT. X 25-35' SPR.
	QF	10	QUERCUS ROBUR FASTIGIATA / PYRAMIDAL ENGLISH OAK	24" BOX	7-9' HT. X 2-3' SPR.	1" CAL.	MODERATE	50-60' HT. X 15-20' SPR.
	QS	8	QUERCUS SUBER / CORK OAK	24" BOX	7'-8' HT. X 2'-3' SPR.	1" CAL.	LOW	40-50' HT. X 30-40' SPR.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	MATURE SIZE	DETAIL
SHRUBS								
	AM	291	ACHILLEA MILLEFOLIUM / COMMON YARROW	1 GAL.	18" O.C.	LOW	2-3' HT. X 1-2' SPR.	
	AB	48	AGAVE ATTENUATA / FOXTAIL AGAVE	5 GAL.	84" O.C.	LOW	4-5' HT. X 4-5' SPR.	
	AD	40	ARCTOSTAPHYLOS DENSIFLORA / VINE HILL MANZANITA	5 GAL.	72" O.C.	LOW	5-6' HT. X 5-6' SPR.	
	AS	95	ASCLEPIAS SPECIOSA / SHOWY MILKWEED	1 GAL.	24" O.C.	LOW	2' HT. X 2' SPR.	
	BG	95	BOUTELOUA GRACILIS / BLUE GRAMA GRASS	1 GAL.	36" O.C.	LOW	2-3' HT. X 2-3' SPR.	
	DI	447	DIETES IRIDIOIDES / FORTNIGHT LILY	5 GAL.	48" O.C.	LOW	3-4' HT. X 2-3' SPR.	
	EH	102	EPIOBIUM CANUM / CALIFORNIA FUCHSIA	1 GAL.	36" O.C.	LOW	2' HT. X 3-4' SPR.	
	HS	60	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL.	24" O.C.	LOW	2-3' HT. X 2' SPR.	
	427	FM	NEPETA X FAASSENII / CATMINT	1 GAL.	24" O.C.	LOW	2-3' HT. X 2-3' SPR.	
	OM	229	OLEA EUROPAEA 'MONTRA' TM / LITTLE OLLIE OLIVE	5 GAL.	84" O.C.	VERY LOW	5-6' HT. X 5-6' SPR.	
	PO	48	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS	1 GAL.	42" O.C.	LOW	2-3' HT. X 2-3' SPR.	
	PT	70	PHORMIUM TENAX / NEW ZEALAND FLAX	5 GAL.	72" O.C.	LOW	4-5' HT. X 4-5' SPR.	
	PR	25	PHORMIUM X 'AMAZING RED' / AMAZING RED NEW ZEALAND FLAX	5 GAL.	48" O.C.	LOW	2' HT. X 3-4' SPR.	
	PS	517	PITTOSPORUM TOBIRA 'SHIMA' / CREAM DE MINT™ JAPANESE PITTOSPORUM	1 GAL.	48" O.C.	LOW	2-3' HT. X 2-3' SPR.	
	RM	112	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY	5 GAL.	78" O.C.	LOW	5-6' HT. X 5-6' SPR.	
	RC	224	RHAPHOLEPIS INDICA 'CLARA' / CLARA INDIAN HAWTHORN	5 GAL.	72" O.C.	LOW	4-5' HT. X 4-5' SPR.	
	SC	65	SALVIA CLEVELANDII / CLEVELAND SAGE	5 GAL.	84" O.C.	LOW	4-5' HT. X 5-6' SPR.	
	SL	75	SALVIA LEUCANTHA / MEXICAN BUSH SAGE	5 GAL.	84" O.C.	LOW	5-6' HT. X 5-6' SPR.	
	WM	590	WESTRINGIA FRUTICOSA 'MORNING LIGHT' / MORNING LIGHT COAST ROSEMARY	1 GAL.	54" O.C.	LOW	3-4' HT. X 4-5' SPR.	
BIO-RETENTION								
	CT	455	CHONDROPETALUM TECTORUM / SMALL CAPE RUSH	1 GAL.	48" O.C.	LOW	2-3' HT. X 3-4' SPR.	
	JP	2,060	JUNCUS PATENS / CALIFORNIA GRAY RUSH	1 GAL.	30" O.C.	LOW	1-2' HT. X 1-2' SPR.	
	MR	890	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL.	36" O.C.	LOW	3-5' HT. X 3-4' SPR.	

VINES							
	PU	7	PARTHENOCISSUS TRICUSPIDATA / BOSTON IVY	1 GAL.	48" O.C.	LOW	4-10' SPR.
GROUND COVERS							
	BI	117	BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH	1 GAL.	60" O.C.	LOW	1-2' HT. X 5-6" SPR.
	CG	206	CARISSA MACROCARPA 'GREEN CARPET' / GREEN CARPET NATAL PLUM	1 GAL.	60" O.C.	LOW	1-2' HT. X 3-4" SPR.
	CH	270	CEANOTHUS X 'CENTENNIAL' / CENTENNIAL WILD LILAC	1 GAL.	60" O.C.	LOW	1' HT. X 5-6" SPR.
	CB	104	COTONEASTER DAMMERI 'CORAL BEAUTY' / CORAL BEAUTY COTONEASTER	1 GAL.	60" O.C.	LOW	1' HT. X 5-6" SPR.
	MP	273	MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM	1 GAL.	60" O.C.	LOW	1' HT. X 6-7" SPR.
ROCK MULCH							
	XA	11,297 SF	3" DEPTH CRUSHED GRAVEL / 3/4" DIA DESERT GOLD				
MATERIAL	CODE	QTY	COMMON NAME				
	MH	114,965 S.F.	3" DEPTH WOOD BARK MULCH				



Know what's below.
Call before you dig.

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HAYWARD, CA 94545

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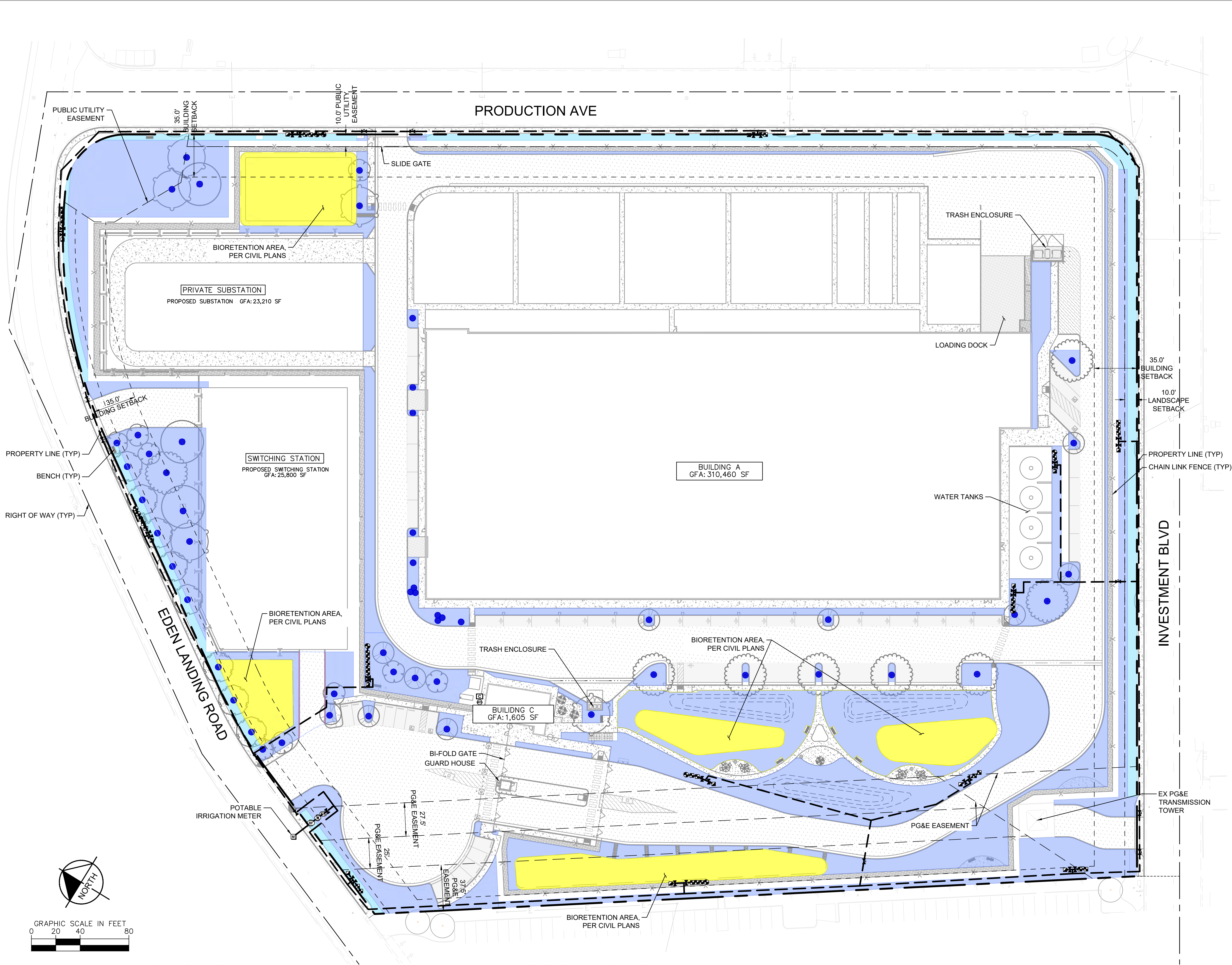
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<u>CIVIL ENGINEER</u> KIMLEY HORN ANTHONY VERA (925) 398-4840 4637 CHANDLER AVE PLEASANTON, CA94588	<u>STRUCTURAL ENGINEER</u> HKS CLINT NASH (214) 969-5599 One Dallas Center 3501 Saint Paul Street, Suite 100 Dallas texas 75201
<u>ARCHITECT</u> HKS DWIGHT WICKES (214) 969-5599 One Dallas Center 3501 Saint Paul Street, Suite 100 Dallas texas 75201	<u>PLUMBING ENGINEER</u> ESD GLOBAL STEVE WUTHRICH (312) 372-1200 233 South Wacker Drive Suite 5300 Chicago, Illinois 60606



PRELIMINARY IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER MP1000 MP-STAKE	
	SHRUB ROTATOR, FIXED-RISER, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE, M-MARCON ADJ ARC 90 TO 210, L-LIGHT BLUE 210 TO 270 ARC, G-OLIVE 360 ARC.	3
	HUNTER MP2000 MP-STAKE	
	SHRUB ROTATOR, FIXED-RISER, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE, K-BLACK ADJ ARC 90-210, G-GREEN ADJ ARC 210-270, R-RED 360 ARC.	18
	HUNTER MP3000 MP-STAKE	
	SHRUB ROTATOR, FIXED-RISER, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE, B-BLUE ADJ ARC 90-210, Y-YELLOW ADJ ARC 210-270, A-GRAY 360 ARC.	18
	HUNTER PROS-PRESS30-06-CV-M8N 10F	
	MULTI-STREAM BUBBLER, 6" POP-UP, FACTORY INSTALLED DRAIN CHECK VALVE, 50-100 GPM, 50-100 GPM, 20-2.0 GPM.	94
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER IC2-101-40	
	TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE, 0.6 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, 17MM.	11,515 S.F.
	HUNTER IC2-101-18	
	TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE, 0.6 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, 17MM.	83,753 S.F.
	HUNTER IC2-101-24	
	TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE, 0.6 GPH EMITTERS AT 24" O.C. DRIPLINE LATERALS SPACED AT 24" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, 17MM.	11,390 S.F.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER ICV-G-FS	
	1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE, WITH FILTER SENTRY.	9
	HUNTER H2-6-RC-8	
	QUICK COUPLER VALVE, YELLOW LOCKING RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. BSP INLET, 1-PIECE BODY.	13
	NIBCO T-880-98-R-86-L	
	STAINLESS STEEL BALL VALVE SHUT OFF VALVE	37
	HUNTER BV-FS 1-1/2	
	1IN., 1-1/2IN., 2IN., AND 3IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE, WITH FILTER SENTRY FACTORY INSTALLED OPTION.	1
	FERC0 825Y 1-1/2	
	REDUCED PRESSURE BACKFLOW PREVENTER	1
	HUNTER IC-4000-SS	
	40 STATION OUTDOOR MODULAR CONTROLLER, WITH FOUR CM-800 MODULE, COMMERCIAL USE, STAINLESS STEEL CABINET.	1
	HUNTER MWS	
	WEATHER STATION WITH RAIN SENSOR, WIND SENSOR, 120 VAC, 5 AMP, 5 YEAR WARRANTY.	1
	HUNTER HC-150-FLOW	
	1-1/2" FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS, ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.	1
	WATER METER 1-1/2"	
	POTABLE WATER	1
	IRRIGATION LATERAL LINE - PVC SCHEDULE 40	
		10,978 L.F.
	IRRIGATION MAINLINE - PVC SCHEDULE 40	
		3,885 L.F.
	PIPE SLEEVE - PVC SCHEDULE 40	
		618 L.F.

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ISSUE DATE: 2 JAN 2023 PROJECT NO: 197459004
DESIGNED: KIMLEY-HORN ARCHITECT: HKS

MARK DATE DESCRIPTION
7/12/24 PLANNING RESUBMITTAL #2

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PROJECT: BUILDING A

PRELIMINARY IRRIGATION PLAN

DRAWING: L-300

E1 SCALE: AGILE No: REV:

PRELIMINARY IRRIGATION NOTE

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF HAYWARD MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF HAYWARD BAY-FRIENDLY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

MATTHEW J. MORGAN, LLA 6256

METHODS OF IRRIGATION (REFER TO ESTIMATED WATER USE TABLE ON SHEET L-201)

SYMBOL	HYDROZONE	METHOD
	A	BIORETENTION AREA (SLOPES & BASIN): SUBSURFACE 12" INLINE DRIP
	B	GENERAL LANDSCAPE AREA: SUBSURFACE 18" INLINE DRIP
	C	GENERAL LANDSCAPE (ALONG PERIMETER): SUBSURFACE 24" INLINE DRIP
	D	TREES: 6" POP UP MULTI-STREAM BUBBLERS [2 PER TREE, 0.25 GPM PER BUBBLER]

