

DOCKETED

Docket Number:	21-SPPE-01
Project Title:	CA3 Backup Generating Facility-Vantage
TN #:	240157
Document Title:	CA3DC PCC Drawing Set Rev3 - Part II
Description:	N/A
Filer:	Scott Galati
Organization:	DayZenLLC
Submitter Role:	Applicant Representative
Submission Date:	10/28/2021 10:25:36 AM
Docketed Date:	10/28/2021

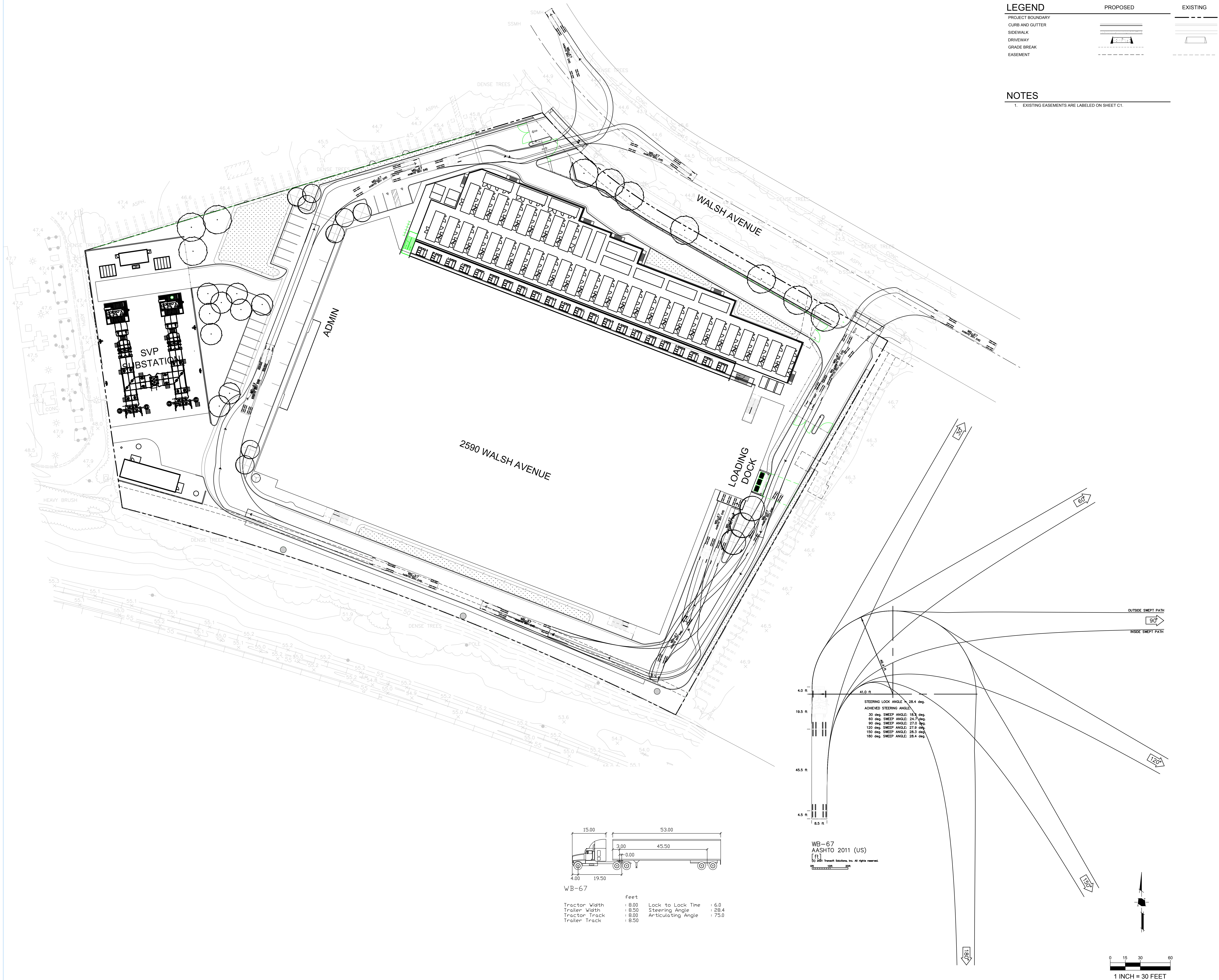
E

D

C

B

A



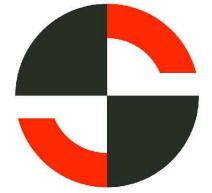
OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510.477.3300

Southland



STRUCTURAL ENGINEER

PEOPLES ASSOCIATES

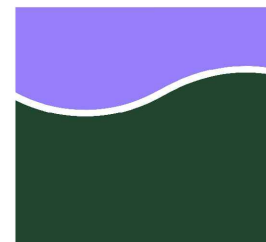
STRUCTURAL ENGINEERS

408-957-9220 www.pase.com
San Jose, California Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131 (408) 487-2200
HMHca.com



REED ASSOCIATES
LANDSCAPE ARCHITECTS
2000 CALIFORNIA AVENUE, SUITE 200
SAN JOSE, CALIFORNIA 95128
PUBLISHED: 05/10/2021

PROGRESS SET
NOT FOR CONSTRUCTION

D	Issued for PCC Review	10-25-2021
C	Issued for PCC Review	09-30-2021
Z	Issued for 100% DD	08-25-2021
B	Issued for PCC Review	08-11-2021
I	Issued for 100% SD	07-16-2021
A	Issued for PCC Review	05-10-2021

No.	Description	Date
-----	-------------	------

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

SITE ACCESS-WB67

C7

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

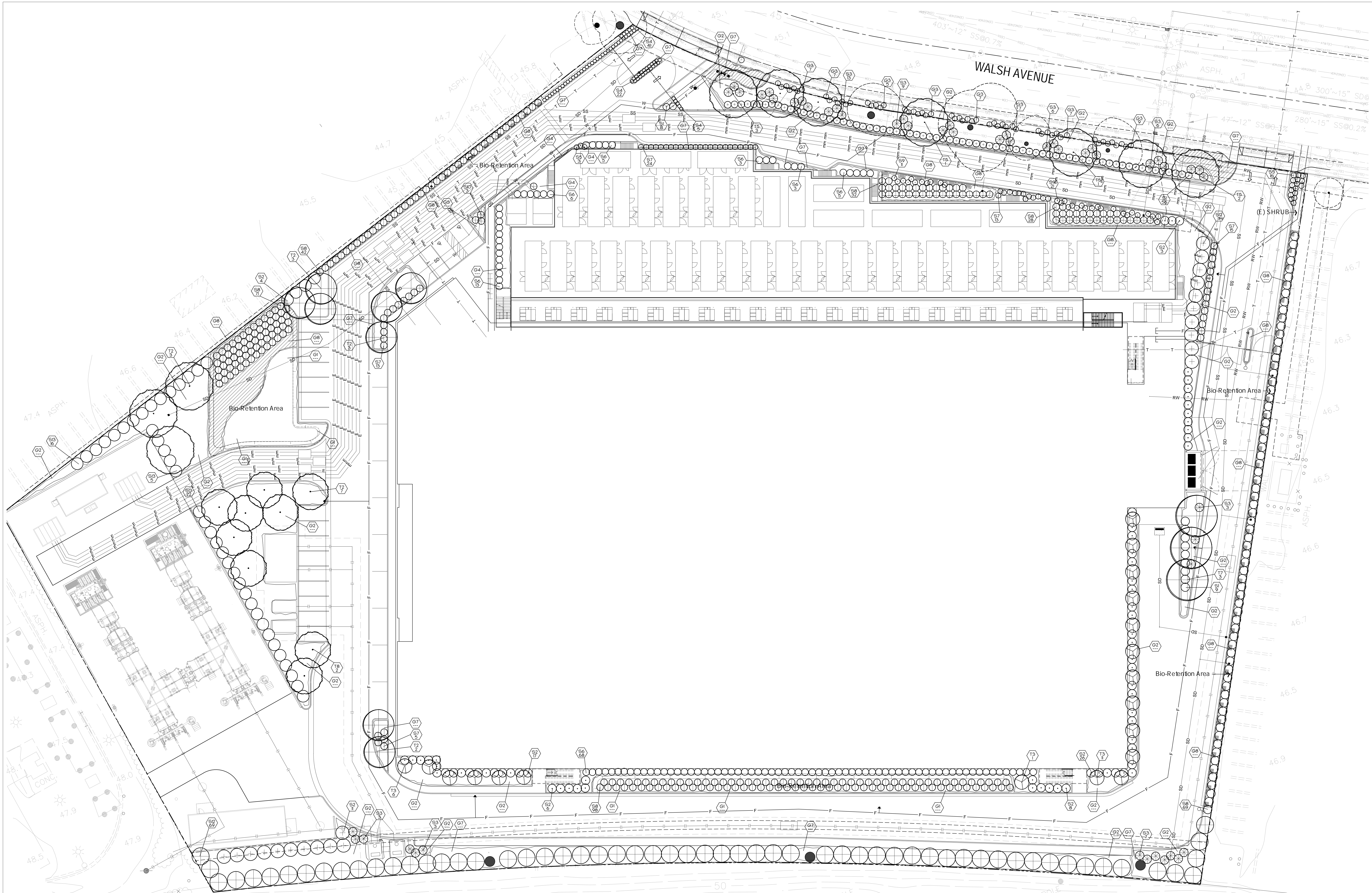
E

D

C

B

A



PLANT NOTES:

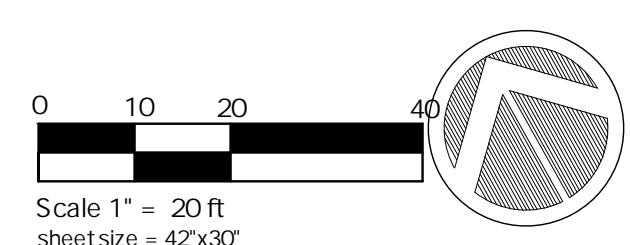
1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (24 MIN).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 3/10TH FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
10. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
11. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
12. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT: 1-800-227-2600

PLANT SYMBOLS

- XX INDICATES PLANT KEY
XX INDICATES PLANT QUANTITY

PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS	INDEX TO COMPLIANCE
TREES							
01	LOPHOSTEMON CONFERTUS	QUEENSLAND BOX	---	24" BOX STANDARD	LOW		
02	LAURUS NOBILIS	BAY TREE	18	24" BOX STANDARD	LOW		
03	JUNIPERUS S. 'SKYROCKET'	SKYROCKET JUNIPER	18	24" BOX COLUMNAR	LOW		
04	AREBUTUS MARINA	MARINA STRAWBERRY TREE	---	36" BOX STANDARD	LOW	COMPLIANT	
05	PLATANUS A. 'COLUMBIA'	LONDON PLANE TREE	1	48" BOX STANDARD	MEDIUM	COMPLIANT	
06	PLATANUS R. 'ROBERTS'	CALIFORNIA BYCANORE	---	36" BOX LOW-BRANCH	MEDIUM	COMPLIANT	
07	TRESTANIA LAURINA	WATER GUT	3	24" BOX MULTI-TRUNK	LOW	COMPLIANT	
08	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	2	48" BOX STANDARD	LOW		
SHRUBS							
09	CALLISTEMON C. 'LITTLE JOHN'	LITTLE JOHN DWARF BOTTLEBRUSH	12	5 GAL	LOW		
10	PITOSPORUM T. 'MARJORIE CHANNON'	VAREGATED KOHUIU	18	5 GAL	LOW		
11	PHORITUM 'MAORI MAIDEN'	NEW ZEALAND FLAX	44	5 GAL	LOW		
12	TULBAGHIA V. 'TRICOLOR'	TRI-COLOR SOCIETY GARLIC	68	1 GAL	LOW	COMPLIANT	
13	DIETES G. 'VAREGATA'	STRIPED FORTNIGHT LILY	3	5 GAL	LOW		
14	PITOSPORUM T. 'VAREGATA'	VAREGATED PITOSPORUM	109	5 GAL	LOW	COMPLIANT	
15	SHAPHOLEPSIS U. 'MINOR'	DWARF YEDDO HAWTHORN	10	5 GAL	LOW		
16	CHONDORETALUM TECTORUM	SMALL CAPE RUSS	340	5 GAL	LOW	COMPLIANT	
17	JUNCUS PATERNS	CALIFORNIA GRAY RUSH	33	5 GAL	LOW	COMPLIANT	
18	MULBERRERIA REGENS	DEER GRASS	3	5 GAL	LOW	COMPLIANT	
19	PHORITUM T. 'MAORI CHIEF'	NEW ZEALAND FLAX	---	5 GAL	LOW		
20	DODONAEA V. 'PURPUREA'	PURPLE LEAFED HOP BRUSH	80	5 GAL	LOW		
21	ELAEAGNUS P. 'THALICATA'	OLIVEBERRY	43	5 GAL	LOW		
GROUND COVERS							
22	BACCHARIS P. 'TWIN PEAKS II'	DWARF COYOTE BRUSH	---	1 GAL	24" OC	LOW	COMPLIANT
23	ROSEMARINUS G. 'HARRINGTON GARRET'	GARRET ROSEMARY	---	1 GAL	36" OC	LOW	
24	PENNISSETUM A. 'LITTLE BUNNY'	LITTLE BUNNY DWARF POUNTAIN GRASS	---	1 GAL	24" OC	LOW	COMPLIANT
25	MAHONIA REPENS	CREeping MAHONIA	---	1 GAL	24" OC	LOW	
26	STONE MULCH	1/2" DIA. RIVER WASHED	---	3" DEPTH	---	---	
27	BARUEJA DOUGLASSII	YERBENA BUENA	---	1 GAL	24" OC	LOW	
28	OSTEOSPERMUM F. 'WHITE'	FINESLAY DAISY	---	1 GAL	24" OC	LOW	
29	LOPHANDRA L. 'BREEZE'	DWARF MAT RUSH	---	1 GAL	24" OC	LOW	COMPLIANT



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601
MEP ENGINEER



**Southland
Industries**
33225 Western Ave.
Union City, CA 94587
510-477-3300

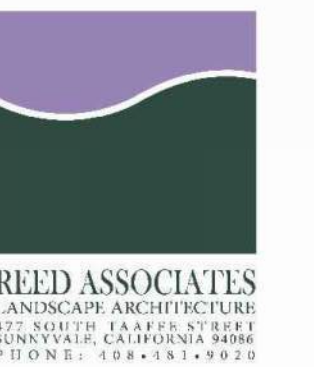


STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-9220
San Jose, California
www.pase.com
Pleasanton, California

CIVIL ENGINEER

HMM
1570 Oakland Road
San Jose, CA 95131
(408) 487-2200
HMMca.com



PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
0	Issued for PCC Review	10-25-2021
2	ISSUED FOR 100% DD	08-26-2021
1	ISSUED FOR 100% SD	07-16-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

Landscape Planting Plan

L1.0

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

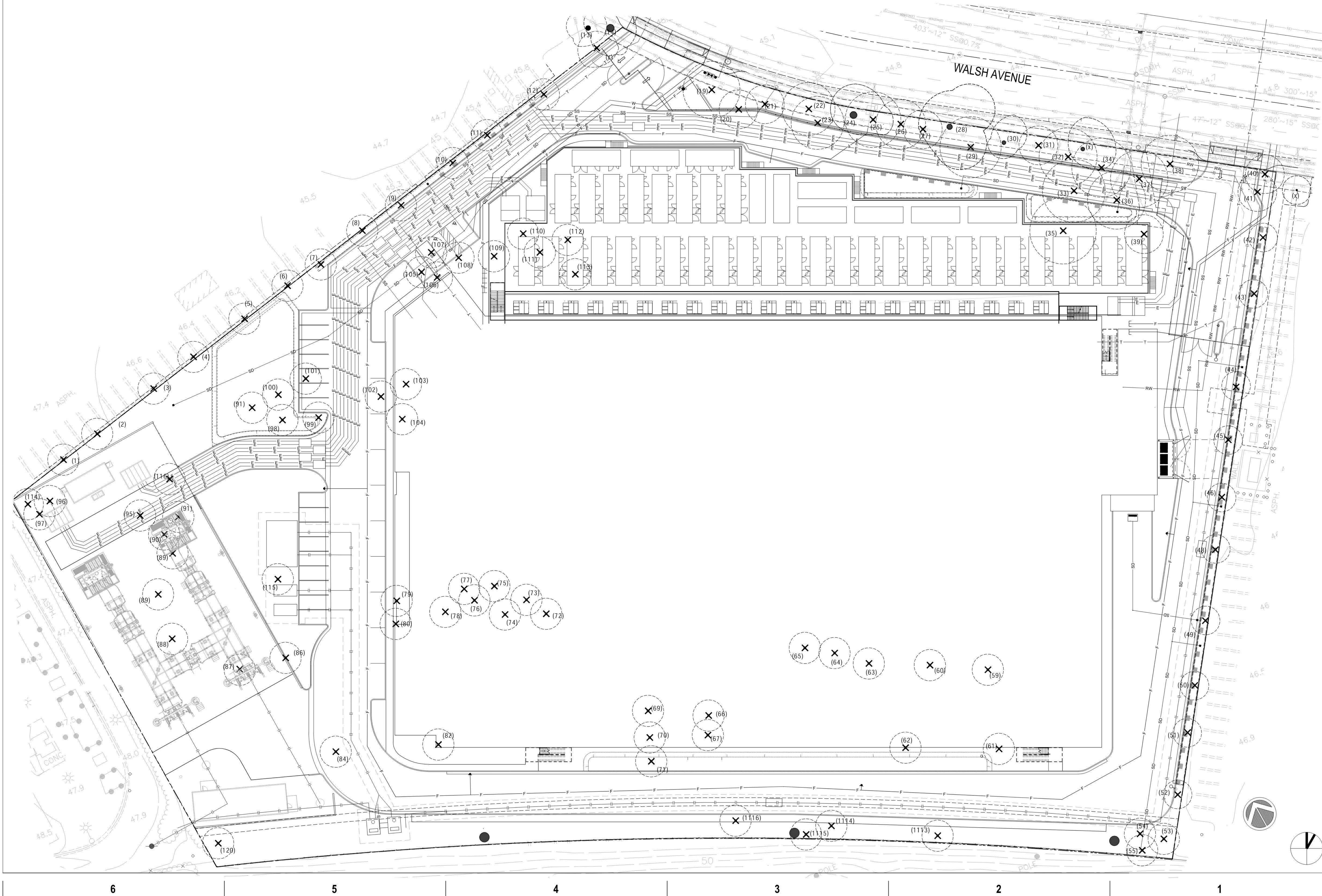
2

1

E
D
C
B
A

EXISTING TREE LEGEND

See sheet L1.3 for Tree Inventory List



OWNER

VANTAGE
DATA CENTERS

ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601
MEP ENGINEER

Southland Industries
33225 Western Ave.
Union City, CA 94587
510.477.3300

ROSENDIN

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-9220
San Jose, California
www.pase.com
Pleasanton, California

CIVIL ENGINEER

HMH
1570 Oakland Road
San Jose, CA 95131
(408) 467-2200
HMHca.com

REED ASSOCIATES
LANDSCAPE ARCHITECTS
1570 OAKLAND ROAD
SAN JOSE, CALIFORNIA 95131
(408) 467-2200

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
0	Issued for PCC Review	10-25-2021
2	ISSUED FOR 100% SD	08-26-2021
1	ISSUED FOR 100% SD	07-16-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

Existing Tree inventory
/ Removal Plan

L1.1

E

D

C

B

A



CITY OF SANTA CLARA
ARBORIST NOTES

I. GENERAL

- No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-615-3080).
- No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
- When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood, tarp, or 4"-5" thick bed of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
- Refill open trenches quickly within hours of excavation when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry out and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
- When roots 2" or larger are required to be cut, shovel by hand near the roots and prune the roots with an industry-approved pruning tool. Roots that are accidentally broken should be pruned two inches from the damaged end. Crushed or torn roots are more likely to allow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
- Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
- A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
- Materials, equipment, temporary buildings, fuels, paints and other construction items shall not be placed within the drip line of existing trees.

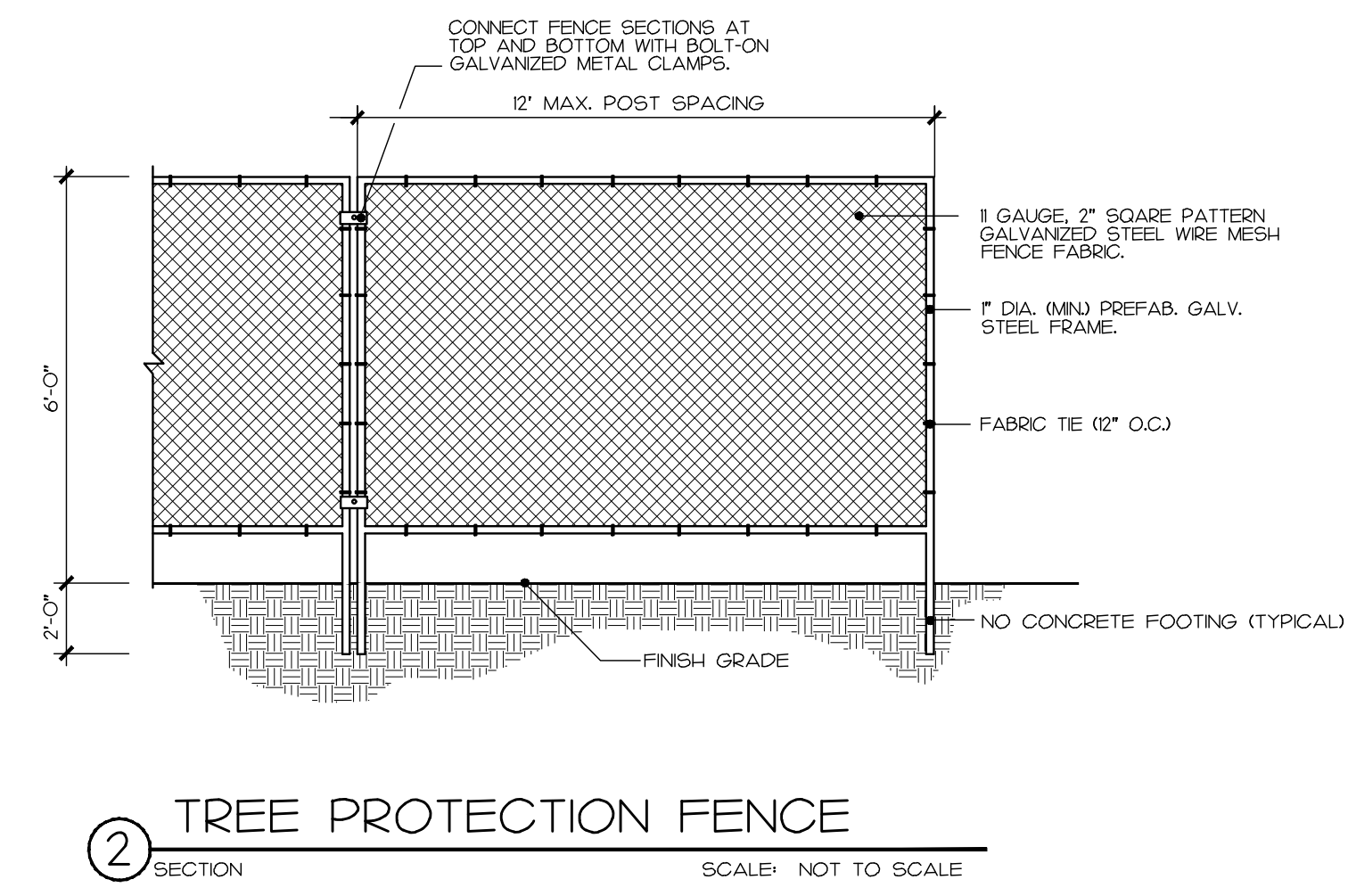
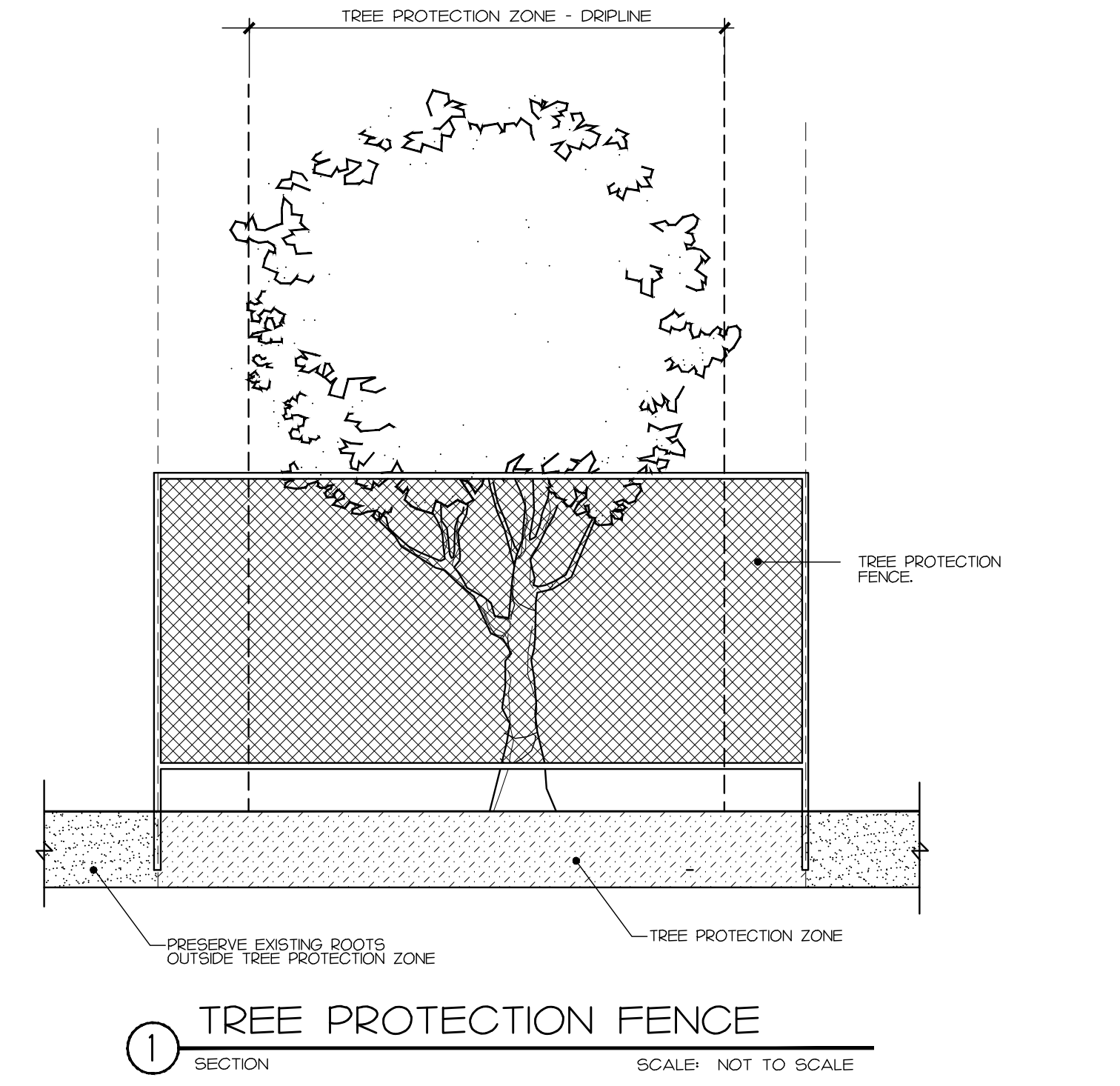
Page 1 of 4



CITY OF SANTA CLARA
ARBORIST NOTES

- Fence all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5"x11" and clearly state "warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the waddle on all trees in the construction zone to protect them from bark damage caused by the work.
- No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Exceptions may be allowed if, in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
- Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
- Grading should not create drainage problems for trees by channeling water into them, or creating sunken areas.
- All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, dry wells should be used.
- When trenching is allowed, the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid tugging or pulling of roots.
- Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the

Page 2 of 4



TREE PROTECTION NOTES

PROTECT EXISTING TREES SHOWN ON PLAN TO REMAIN BY FOLLOWING THESE INSTRUCTIONS.

- THE GRADE BETWEEN THE DRIPLINE AND ROOT CROWN OF THE TREES SHALL NOT BE CUT AND CAN BE FILLED BY ONLY 3 INCHES, EXCEPT WITHIN 5'-0" OF THE TRUNK WHERE THE GRADE SHALL NOT BE DISTURBED.
- IRRIGATION AND RAIN WATER SHALL BE ABLE TO DRAIN AWAY FROM THE ROOT CROWN OF THE TREES.
- DO NOT DRIVE OR PARK VEHICLES WITHIN THE DRIPLINE AREA OF THE TREES UNLESS NECESSARY TO DO PAVING CONSTRUCTION. IF THERE HAS BEEN ANY VEHICULAR TRAFFIC WITHIN THE DRIPLINE, THE GROUND SHALL BE SCARIFIED BY HAND TO A DEPTH OF 12 INCHES TO DE-COMPACT.
- DO NOT ALLOW CONTRACTORS TO DUMP WASTE CONCRETE, PLASTER, ETC. UNDER DRIPLINE OF TREES. DO NOT ALLOW PAINTERS OR OTHER TO CLEAN EQUIPMENT UNDER DRIPLINE OR UPHILL OF EXISTING TREES WHERE NATURAL DRAINAGE WOULD CAUSE WASTE TO RUN WITHIN DRIPLINE. DO NOT ALLOW ANY WASTE TO BE DUMPED IN SOIL ON SITE.
- TREES SHALL NOT BE PRUNED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR ARBORIST.
- IF IT IS NECESSARY TO PRUNE OR CUT ANY ROOTS LARGER THAN 1 INCH IN DIAMETER, THE ROOTS SHALL BE CUT CLEANLY AND ROOT SEALED. WHERE EXCAVATION IS REQUIRED AROUND TREES (FOR WALL, PAVING, ETC.) THE REPLACED SOIL SHALL BE ½ SOL AMENDMENT AND ½ NATIVE SOIL.
- NO IRRIGATION SHALL BE INSTALLED WITHIN 5'-0" OF THE TRUNK. NO SPRAY SHALL HIT THE TRUNKS OF TREES. ALL TRENCHING WITHIN THE DRIPLINE WILL BE DONE BY HAND. ALL PIPING SHALL RUN PERPENDICULAR TO THE TRUNK WITHIN THE DRIPLINE EXCEPT AT FACE OF CURB, PLANTER OR PAVING.

OWNER



ARCHITECT
SHEEHAN
NAGLE
HARTRAY
ARCHITECTS

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



Southland
Industries

33225 Western Ave.
Union City, CA 94587
510-477-3300



STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-9220
San Jose, California
www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
0	Issued for PCC Review	10-25-2021
2	ISSUED FOR 100% SD	08-26-2021
1	ISSUED FOR 100% SD	07-16-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

Existing Tree Protection Notes
and Details

L1.2

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.



CITY OF SANTA CLARA
ARBORIST NOTES

contractor. The city arborist or arborist employed by city shall determine the replacement species, size, quantity, and spacing.

- Place 4"-5" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
- Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 5" DBH, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter of the tree as specified by the accompanying table.

When the tree diameter at 4 1/2 feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-2 inches	1 foot
3-4 inches	2 feet
6-9 inches	5 feet
10-14 inches	10 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
9 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III. TREE PROTECTION

- Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Treatment of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently

Page 3 of 4



CITY OF SANTA CLARA
ARBORIST NOTES

disfigured or killed as a result of the work, contractor shall remove the tree, including its roots, from the site and replace each removed tree with an equal-sized tree. If such replacement is not possible, the contractor shall reimburse to the tree owner the amount listed in the table below. The city arborist or arborist employed by city shall be the sole judge of the condition of any tree. Contractor shall provide regular watering of existing landscaping within the construction area through the construction period.

- Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree caliper" method established in the most recent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and landscape architects.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over: Add for each caliper inch	\$ 1,200

Page 4 of 4

6

5

4

3

2

1

E

D

C

B

A

Exhibit 2 - 2590 Walsh Avenue Inventory Matrix
2950 Walsh Avenue, Santa Clara



Tag #	Botanical Name	Common Name	DBH (inches)	Health Rating	Structure Rating	Condition	Disposition	Suitability for Preservation
1	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
2	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
3	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
4	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
5	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
6	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
7	<i>Fraxinus uhdei</i>	Evergreen Ash	34	Fair	Fair	Fair	Preserve	Moderate
8	<i>Fraxinus uhdei</i>	Evergreen Ash	34	Fair	Fair	Fair	Preserve	Moderate
9	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
10	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
11	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
12	<i>Fraxinus uhdei</i>	Evergreen Ash	2	Excellent	Excellent	Excellent	Preserve	High
13	<i>Sequoia sempervirens</i>	Coastal Redwood	28	Excellent	Excellent	Excellent	Preserve	High
14	<i>Sequoia sempervirens</i>	Coastal Redwood	30	Excellent	Excellent	Excellent	Preserve	High
19	<i>Liquidambar styraciflua</i>	Sweetgum	28	Good	Good	Good	Preserve	Moderate
20	<i>Liquidambar styraciflua</i>	Sweetgum	24	Good	Fair	Good	Preserve	Moderate
21	<i>Sequoia sempervirens</i>	Coastal Redwood	24	Excellent	Excellent	Excellent	Preserve	High
22	<i>Liriodendron tulipifera</i>	Tulip Tree	28	Excellent	Excellent	Excellent	Preserve	High
23	<i>Sequoia sempervirens</i>	Coastal Redwood	40	Excellent	Excellent	Excellent	Preserve	High
24	<i>Sequoia sempervirens</i>	Coastal Redwood	14	Excellent	Excellent	Excellent	Preserve	High
25	<i>Liriodendron tulipifera</i>	Tulip Tree	26	Excellent	Good	Excellent	Preserve	High
26	<i>Liriodendron tulipifera</i>	Tulip Tree	26	Excellent	Good	Excellent	Preserve	High
27	<i>Liquidambar styraciflua</i>	Sweetgum	12	Good	Fair	Good	Preserve	Moderate



Tag #	Botanical Name	Common Name	DBH (inches)	Health Rating	Structure Rating	Condition	Disposition	Suitability for Preservation
82	<i>Cercatonia siliqua</i>	Carob	20	Fair	Fair	Fair	Remove Based On Conflicts With Layout	Low
84	<i>Liquidambar styraciflua</i>	Sweetgum	8	Fair	Fair	Fair	Remove Based On Conflicts With Layout	Low
86	<i>Liquidambar styraciflua</i>	Sweetgum	8	Fair	Fair	Fair	Remove Based On Conflicts With Layout	Low
87	<i>Liquidambar styraciflua</i>	Sweetgum	8	Fair	Fair	Fair	Remove Based On Conflicts With Layout	Low
88	<i>Liriodendron tulipifera</i>	Tulip Tree	12	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
89	<i>Liriodendron tulipifera</i>	Tulip Tree	12	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
90	<i>Sequoia sempervirens</i>	Coastal Redwood	32	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
91	<i>Sequoia sempervirens</i>	Coastal Redwood	14	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
91	<i>Sequoia sempervirens</i>	Coastal Redwood	28	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
92	<i>Sequoia sempervirens</i>	Coastal Redwood	30	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
95	<i>Prunus caroliniana</i>	Purpleleaf Plum	8	Fair	Fair	Fair	Remove Based On Conflicts With Layout	Low
96	<i>Sequoia sempervirens</i>	Coastal Redwood	12	Excellent	Excellent	Excellent	Preserve	High
97	<i>Sequoia sempervirens</i>	Coastal Redwood	8	Excellent	Excellent	Excellent	Preserve	High
98	<i>Sequoia sempervirens</i>	Coastal Redwood	14	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
99	<i>Sequoia sempervirens</i>	Coastal Redwood	14	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
100	<i>Sequoia sempervirens</i>	Coastal Redwood	16	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
101	<i>Sequoia sempervirens</i>	Coastal Redwood	14	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
102	<i>Sequoia sempervirens</i>	Coastal Redwood	28	Excellent	Good	Excellent	Remove Based On Conflicts With Layout	High
103	<i>Sequoia sempervirens</i>	Coastal Redwood	32	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
104	<i>Sequoia sempervirens</i>	Blackwood Azacia	20	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
105	<i>Sequoia sempervirens</i>	Coastal Redwood	32	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
106	<i>Sequoia sempervirens</i>	Coastal Redwood	32	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
107	<i>Sequoia sempervirens</i>	Coastal Redwood	36	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
108	<i>Sequoia sempervirens</i>	Coastal Redwood	38	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High



Tag #	Botanical Name	Common Name	DBH (inches)	Health Rating	Structure Rating	Condition	Disposition	Suitability for Preservation
28	Liquidambar styraciflua	Sweetgum	13	Good	Fair	Good	Preserve	Moderate
29	Liriodendron tulipifera	Tulip Tree	10	Fair	Good	Fair	Remove Based On Conflicts With Layout	Moderate
30	Liriodendron tulipifera	Tulip Tree	10	Fair	Good	Fair	Remove Based On Conflicts With Layout	Moderate
31	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
32	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
33	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
34	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
35	Liquidambar styraciflua	Sweetgum	10	Good	Fair	Good	Remove Based On Conflicts With Layout	Moderate
36	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
37	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
38	Sequoia sempervirens	Coastal Redwood	40	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
39	Liquidambar styraciflua	Sweetgum	10	Good	Fair	Good	Remove Based On Conflicts With Layout	Moderate
40	Sequoia sempervirens	Coastal Redwood	26	Excellent	Excellent	Excellent	Preserve	High
41	Sequoia sempervirens	Coastal Redwood	30	Excellent	Excellent	Excellent	Preserve	High
42	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
43	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
44	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
45	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
46	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
48	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
49	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
50	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
51	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate
52	Fraxinus uhdei	Evergreen Ash	26	Fair	Fair	Fair	Preserve	Moderate



Tag #	Botanical Name	Common Name	Diameter (inches)	Health Rating	Structure Rating	Condition	Disposition	Suitability for Preservation
109	<i>Pinus kawakami</i>	Evergreen Pear	13	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
110	<i>Lagerstroemia indica</i>	Crape myrtle	4	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
111	<i>Lagerstroemia indica</i>	Crape myrtle	4	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
112	<i>Lagerstroemia indica</i>	Crape myrtle	4	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
113	<i>Liquidambar styraciflua</i>	Sweetgum	10	Good	Fair	Good	Remove Based On Conflicts With Layout	Moderate
114	<i>Sequoia sempervirens</i>	Coastal Redwood	6	Excellent	Excellent	Excellent	Preserve	High
115	<i>Liriodendron tulipifera</i>	Tulip Tree	6	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
116	<i>Laurus nobilis</i>	Laurel	2	Fair	Fair	Fair	Remove Based On Conflicts With Layout	Low
120	<i>Sequoia sempervirens</i>	Coastal Redwood	18	Excellent	Excellent	Excellent	Remove Based On Conflicts With Layout	High
1113	<i>Pinus radiata</i>	Monterey Pine	36	Poor	Poor	Poor	Remove Based On Condition	Low
1114	<i>Pinus radiata</i>	Monterey Pine	36	Dead	Dead	Dead	Remove Based On Condition	Low
1115	<i>Juglans nigra</i>	Black Walnut	24	Poor	Poor	Poor	Remove Based On Condition	Low
1116	<i>Pinus radiata</i>	Monterey Pine	36	Dead	Dead	Dead	Remove Based On Condition	Low



Tap #	Botanical Name	Common Name	DBH (inches)	Health Rating	Structure Rating	Condition	Disposition	Suitability for Preservation
53	<i>Sequoia sempervirens</i>	Coastal Redwood	38	Excellent	Excellent	Excellent	Preserve	High
54	<i>Sequoia sempervirens</i>	Coastal Redwood	14	Excellent	Excellent	Excellent	Preserve	High
55	<i>Sequoia sempervirens</i>	Coastal Redwood	18	Excellent	Excellent	Excellent	Preserve	High
59	<i>Pyrus kawakami</i>	Evergreen Pear	14	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
60	<i>Pyrus kawakami</i>	Evergreen Pear	14	Dead	Dead	Dead	Remove Based On Conflicts With Layout	Low
61	<i>Ceratania siliqua</i>	Carob	6	Good	Good	Good	Remove Based On Conflicts With Layout	Low
62	<i>Ceratania siliqua</i>	Carob	12	Poor	Poor	Poor	Remove Based On Conflicts With Layout	Low
63	<i>Sequoia sempervirens</i>	Coastal Redwood	36	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
64	<i>Sequoia sempervirens</i>	Coastal Redwood	34	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
65	<i>Sequoia sempervirens</i>	Coastal Redwood	30	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
66	<i>Liquidambar styraciflua</i>	Sweetgum	10	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
67	<i>Liquidambar styraciflua</i>	Sweetgum	6	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
69	<i>Liquidambar styraciflua</i>	Sweetgum	10	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
70	<i>Liquidambar styraciflua</i>	Sweetgum	6	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
71	<i>Liquidambar styraciflua</i>	Sweetgum	8	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
72	<i>Liquidambar styraciflua</i>	Sweetgum	12	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
73	<i>Liquidambar styraciflua</i>	Sweetgum	12	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
74	<i>Liquidambar styraciflua</i>	Sweetgum	14	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
75	<i>Liquidambar styraciflua</i>	Sweetgum	8	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
76	<i>Liquidambar styraciflua</i>	Sweetgum	12	Good	Good	Good	Remove Based On Conflicts With Layout	Moderate
77	<i>Sequoia sempervirens</i>	Coastal Redwood	36	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
78	<i>Sequoia sempervirens</i>	Coastal Redwood	36	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
79	<i>Sequoia sempervirens</i>	Coastal Redwood	34	Good	Excellent	Good	Remove Based On Conflicts With Layout	High
80	<i>Sequoia sempervirens</i>	Coastal Redwood	36	Good	Excellent	Good	Remove Based On Conflicts With Layout	High

OWNER

ARCHITECT
SHEEHAN
NAGLE
HARTRAY
ARCHITECTS

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601



Southland Industries

33225 Western Ave
Union City, CA 9458
510.477.3300



STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
ARCHITECTS • ENGINEERS

408-957-9220
San Jose, California

www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH FAIRFAX STREET
SUNNYVALE, CALIFORNIA 94088
PHONE: 408-351-7822

PROGRESS SET
NOT FOR CONSTRUCTION

D	Issued for PCG Review	10-25-2021
2	ISSUED FOR 100% DD	08-26-2021
1	ISSUED FOR 100% SI	07-16-2021
No.	Description	Date

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

Existing Tree Inventory List

L1.3

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD

E

D

C

B

A

Water Efficient Landscape Budget Calculations

Reference Evapotranspiration (ETo) 44.0

MWA - Regular Landscape Areas

$MWA = (ETo) \times (0.62) \times ((ETAF \times LA) + (1-ETAF \times SLA))$

landscape area	36,717	s.f.
SLA	0	s.f.
ETAF	0.45	average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas.
total area with SLA	36,717	
mawa total	450,738	gallons per year

ETWU - Regular Landscape Areas

$ETWU = (ETo) \times (0.62) \times ((ETAF \times LA) + SLA))$

hydro-zone number	plant water use	plant factor (PF)	irrigation method	irrigation efficiency	ETAF (PF/E)	hydro-zone area	ETAF x Area	ETWU
1	medium	0.5	drip	0.81	0.617	4,358	2,690.1	73,387
2	low	0.2	drip	0.81	0.247	778	192.1	5,240
3	low	0.2	drip	0.81	0.247	2,280	563	15,358
4	low	0.2	drip	0.81	0.247	1,461	361	9,981
5	low	0.2	drip	0.81	0.247	7,000	1,728	47,151
6	low	0.2	drip	0.81	0.247	3,660	909	24,788
7	low	0.2	drip	0.81	0.247	8,266	2,041	55,678
8	low	0.2	drip	0.81	0.247	4,714	1,164	31,753
9	low	0.2	drip	0.81	0.247	2,692	665	18,133
10	low	0.2	drip	0.81	0.247	1,488	367	10,023
SLA	---	1.0	over head	1.00	1.000	0	0	0

ETWU totals 36,717 10,680.0 291,350
Total area with all zones and SLA 36,717

ETAF calculations

total ETAF x area	10,680.0	s.f.
total area	36,717	
average ETAF	0.291	Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

ETWU calculations

$ETWU = (ETo) \times (0.62) \times ((PF \times HA) / (E) + SLA)$

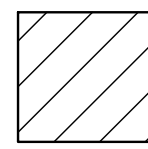
ETo	44.00	conv. factor	62	PF x Area/E	SLA	0
ETWU (gallon per year)=	291,350					

TOTALS

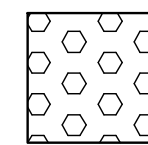
MWA total	450,738	gallons per year
ETWU total	291,350	gallons per year
	35.4	Percentage reduction of Potable Irrigation Water

IRRIGATION HYDRO-ZONE LEGEND

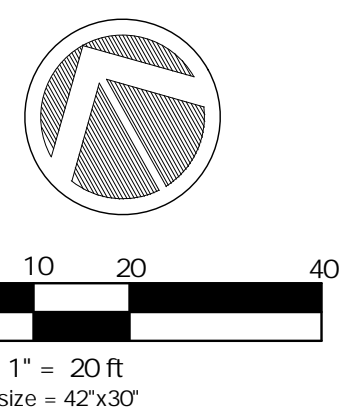
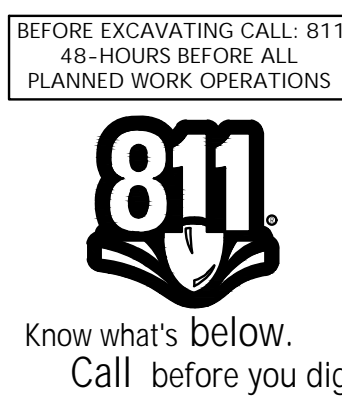
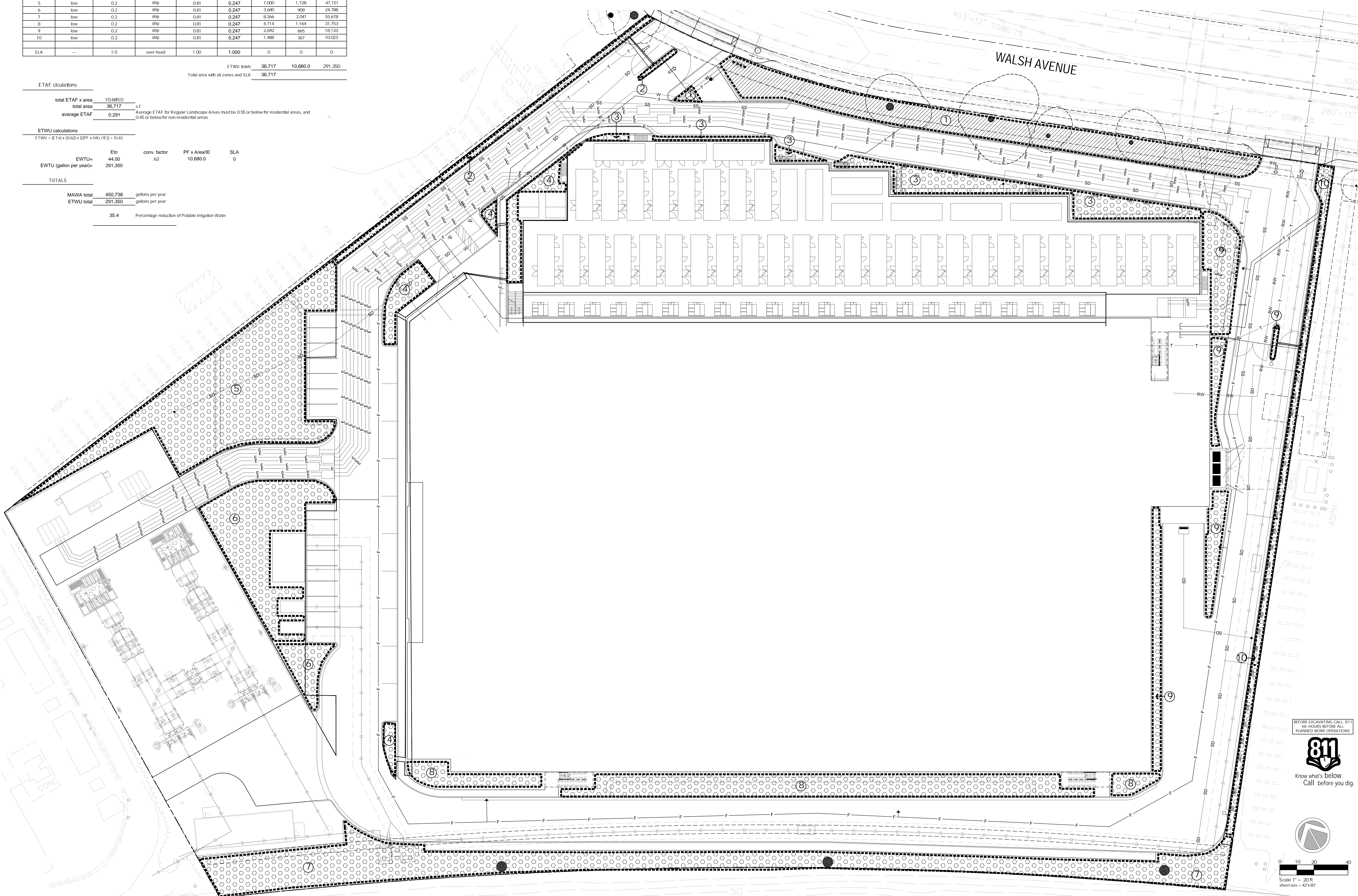
PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS. HYDROZONE DESIGNATION IS DETERMINED BY HIGHEST WATER REQUIREMENT PLANTING IN ZONE.



MEDIUM WATER REQUIREMENT



LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601
MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300



STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-9220 www.pase.com
San Jose, California Pleasanton, California

CIVIL ENGINEER

HMH
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMHca.com



PROGRESS SET
NOT FOR CONSTRUCTION

0	Issued for PCC Review	10-25-2021
2	ISSUED FOR 100% DD	08-26-2021
1	ISSUED FOR 100% SD	07-16-2021

No.	Description	Date
-----	-------------	------

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

Landscape Hydrozone Plan

L2.0

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

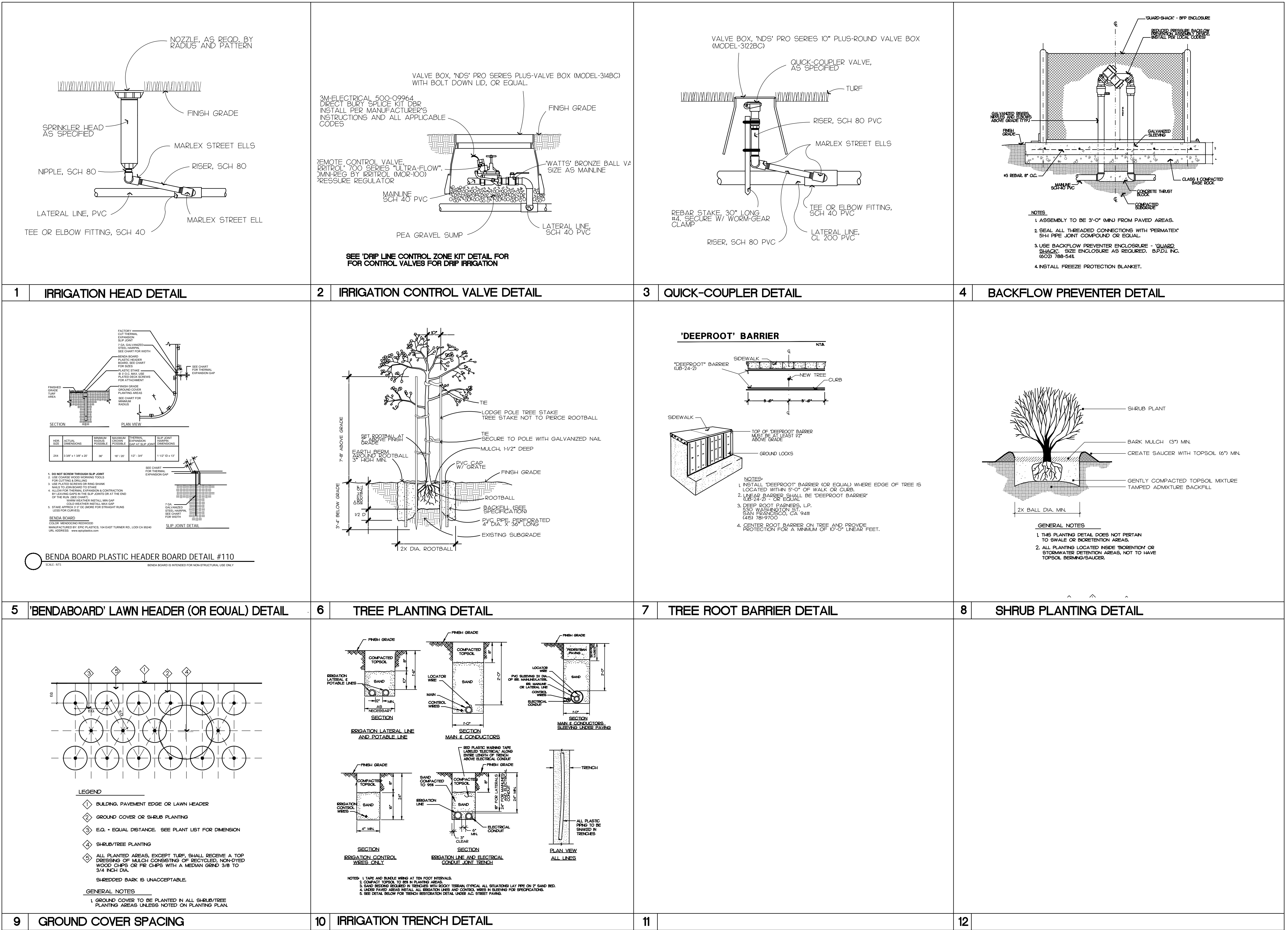
E

D

C

B

A



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-5300

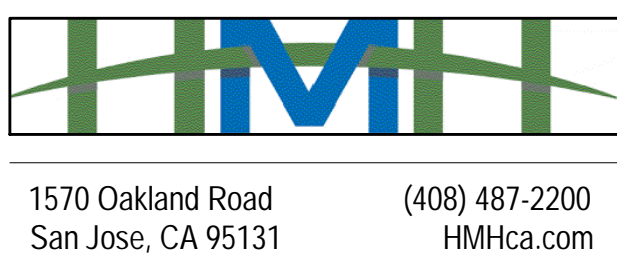


STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-9220
San Jose, California

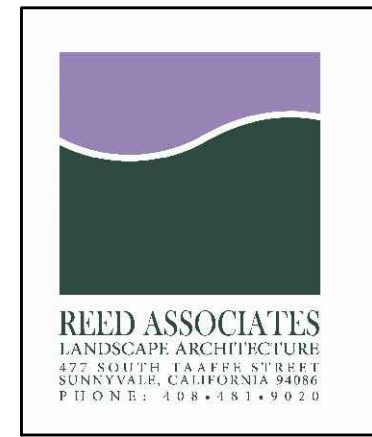
www.psa.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
LANDSCAPE ARCHITECTS
1000 CALIFORNIA STREET, SUITE 200
SAN FRANCISCO, CA 94109

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
1	SITE UPDATES	10-04-2021
2	ISSUED FOR 100% DD	08-26-2021
1	ISSUED FOR 100% SD	07-16-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR 100% DD

Landscape Construction
Details

L3.0

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

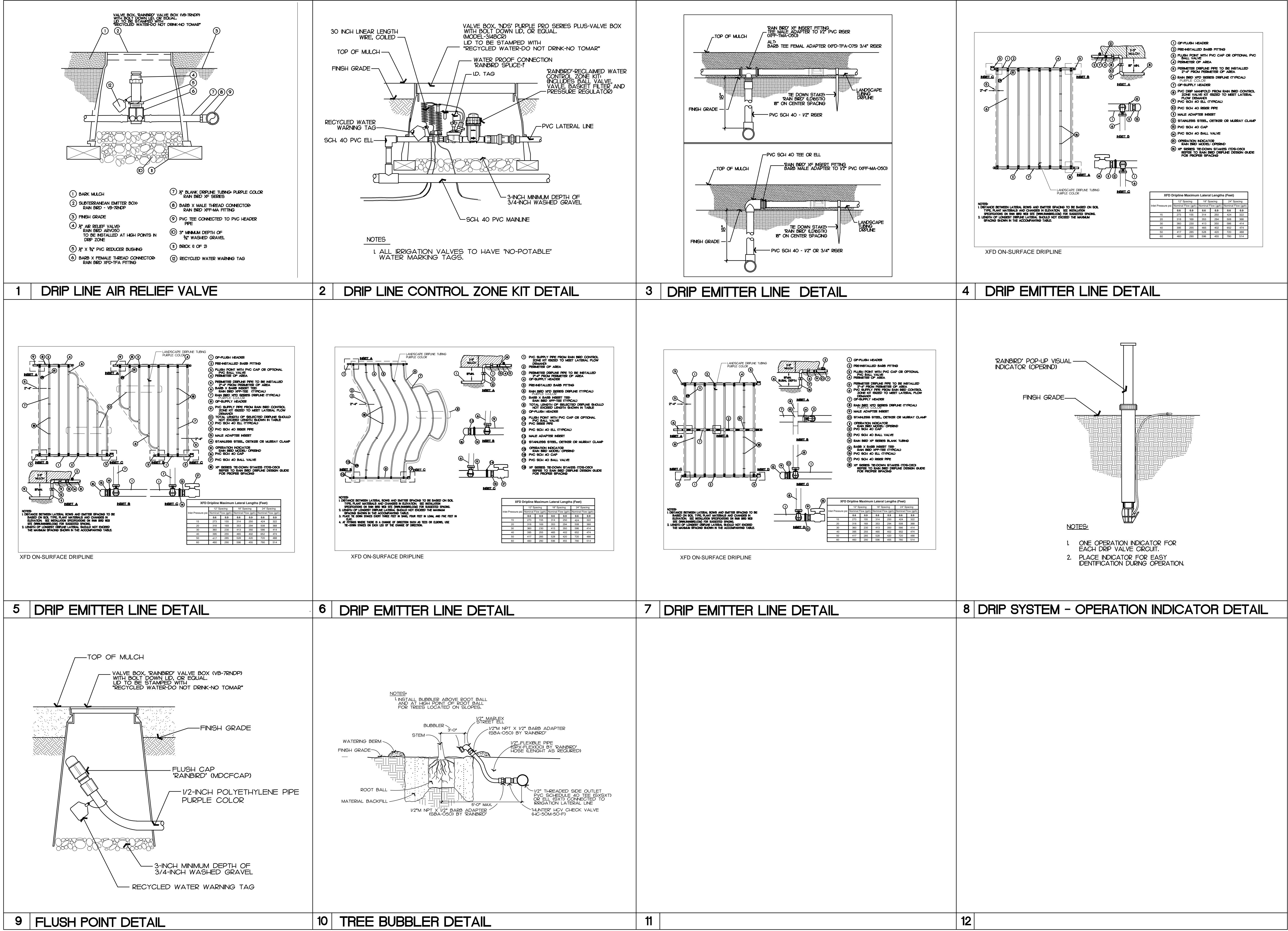
E

D

C

B

A



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



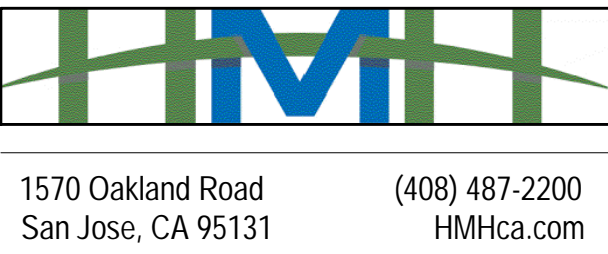
**Southland
Industries**
33225 Western Ave.
Union City, CA 94587
510-477-5300



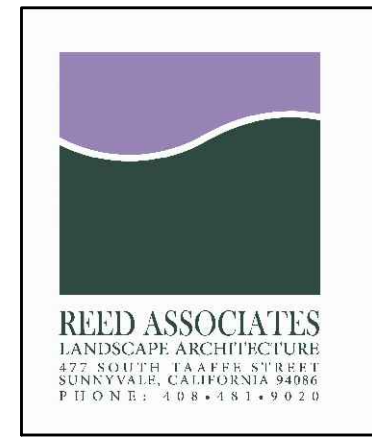
STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-9220
San Jose, California
www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131
(408) 487-2200
HMHca.com



PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
2	ISSUED FOR 100% DD	08-26-2021
1	ISSUED FOR 100% SD	07-16-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR 100% DD

Landscape Construction Details

L3.1

SCALE: AS NOTED

© 2018 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

E

D

C

B

A

<div>LANDSCAPE SPECIFICATIONS</div> <div>IRRIGATION SPRINKLER SYSTEM AND LANDSCAPE PLANTING</div> <div>1.0 GENERAL</div> <div><div><div><div><div>A. THE WORK INCLUDES LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.</div><div>1. PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES, AND UNDER CONTINUOUS SUPERVISION OF A COMPONENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.</div></div><div><div><div>B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS, INCLUDING PLAN CHECK REQUIREMENTS.</div><div>C. CONSTRUCT IRRIGATION SYSTEM USING MATERIAL AND METHODS CONFORMING TO APPLICABLE PROVISIONS OF UNIFORM PLUMBING CODE, PUBLISHED BY WESTERN PLUMBING OFFICIALS ASSOCIATION, NATIONAL ELECTRICAL CODE, AND OTHER CODES PROPERLY GOVERNING THESE ACTIVITIES AT THE LOCATION OF THE WORK. THEN:</div><div><div>1. VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.</div><div>D. THE CONTRACT DOCUMENTS ARE NOT INTENDED TO CONFLICT WITH REQUIREMENTS OF GOVERNING ORDINANCES. WHEN DRAWINGS AND SPECIFICATIONS DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARD, PROVISIONS OF DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE.</div><div>E. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK.</div><div>F. BEFORE PROCEEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES. IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AREAS OF DISCREPANCY ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE ARCHITECT.</div><div>G. DIMENSIONS INDICATED IN DRAWINGS ARE APPROXIMATE. PROVIDE OFFSETS, FITTINGS, SLEEVES, ETC., REQUIRED TO COMPLETE THE PROJECT. PERFORM SIMILAR OPERATIONS FOR LIKE CONDITIONS WITHOUT ADDITIONAL COST TO OWNER.</div></div></div></div></div><div><div>1.1 SUBSTITUTIONS</div><div>A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.</div><div>B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FROM CONTRACTOR FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THESE CONDITIONS:</div><div><div>1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CONTRACTOR.</div><div>2. WHEN IT IS CLEARLY SEEN, IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTERESTS IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS.</div></div><div>C. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION, INCLUDING PRODUCT IDENTIFICATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.</div><div>D. MANUFACTURER'S WARRANTIES WILL NOT RELIEVE SUB-CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE, ONLY SUPPLEMENT THE GUARANTEE.</div></div><div><div>1.2 RECORD DRAWINGS</div><div>A. FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM AT CONCLUSION OF THE INSTALLATION.</div><div><div>1. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25 PERCENT.</div><div>B. INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN.</div></div><div>1.3 EXTRA MATERIALS</div><div>A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM:</div><div><div>1. VALVE KEYS.</div><div>2. SERVICE WRENCHES.</div><div>3. QUICK COUPLER VALVE KEYS.</div><div>4. HOSE SWIVELS COMPATIBLE WITH QUICK COUPLER VALVES.</div><div>5. KEYS TO OPEN AUTOMATIC CONTROL CABINET.</div></div></div></div></div>					<div>1.4 WARRANTY</div> <div><div><div>A. FURNISH OWNER WITH GUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, WORKMANSHIP, AND TRADE, UNUSUAL ABUSE, OR NEGLECT ACCEPTED.</div><div>B. PROVIDE GUARANTEE FOR REPAIR OR REPLACEMENT OF DEFECTS IN MATERIAL OR WORKMANSHIP, SETTLING OF BACKFILLED TRENCHES, AND TO REPAIR OR REPLACE DAMAGE RESULTING FROM THE REPAIRS OR REPLACEMENTS OF DEFECTS WITHOUT ADDITIONAL COST TO OWNER.</div><div>C. MAKE REPAIRS OR REPLACEMENTS, INCLUDING COMPLETE RESTORATION OF DAMAGED PLANTING, PAVING, OR OTHER IMPROVEMENTS OF ANY KIND, WITHIN A REASONABLE TIME AS DETERMINED BY OWNER, AFTER RECEIPT OF WRITTEN NOTICE.</div><div>D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAYS AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OTHERS AT THE EXPENSE OF SUB-CONTRACTOR.</div><div>E. WARRANTY PERIOD FOR IRRIGATION SPRINKLER SYSTEM, 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.</div></div></div> <div>1.5 LANDSCAPE MAINTENANCE AND GUARANTEE</div> <div>A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.</div> <div><div>1. WORK INCLUDES, BUT IS NOT LIMITED TO, WATERING, WEEDING, MOWING, FERTILIZING, CULTIVATING, SPRAYING, CUTTING, AND PRUNING NECESSARY TO KEEP PLANTS IN A HEALTHY GROWING CONDITION AND TO KEEP PLANTED AREAS NEAT AND ATTRACTIVE IN APPEARANCE THROUGHOUT MAINTENANCE PERIOD.</div><div>2. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GRASS COVERS WITH SIZE AND KIND INDICATED IN DRAWINGS.</div><div>3. PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED "D" (15-2-6) AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS.</div><div>4. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION.</div></div> <div>B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 60 DAYS AFTER COMPLETION OF MAINTENANCE PERIOD.</div> <div>1. FINAL ACCEPTANCE MAY BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT.</div> <div>2.0 PRODUCTS</div> <div>2.1 IRRIGATION SPRINKLER MATERIALS</div> <div>A. PVC PLASTIC PIPE AND FITTINGS</div> <div><div>1. MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.</div><div>A. MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED.</div><div>2. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.</div><div>A. LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, SLOANS, OR APPROVED EQUAL.</div><div>3. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 80 PVC THREADED NIPPLES IN RISER ASSEMBLIES.</div><div>4. USE ONLY PVC PLASTIC PIPE, FREE FROM BUSTERS, INTERNAL STRATIONS, DENTS, WRINKLES, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE:</div><div><div>A. CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE, SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.</div></div></div> <div>B. GALVANIZED PIPE AND FITTINGS</div> <div><div>1. WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE, GALVANIZED, WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON FITTINGS.</div><div>A. GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING.</div></div>
--	--	--	--	--	--

E

D

C

B

A

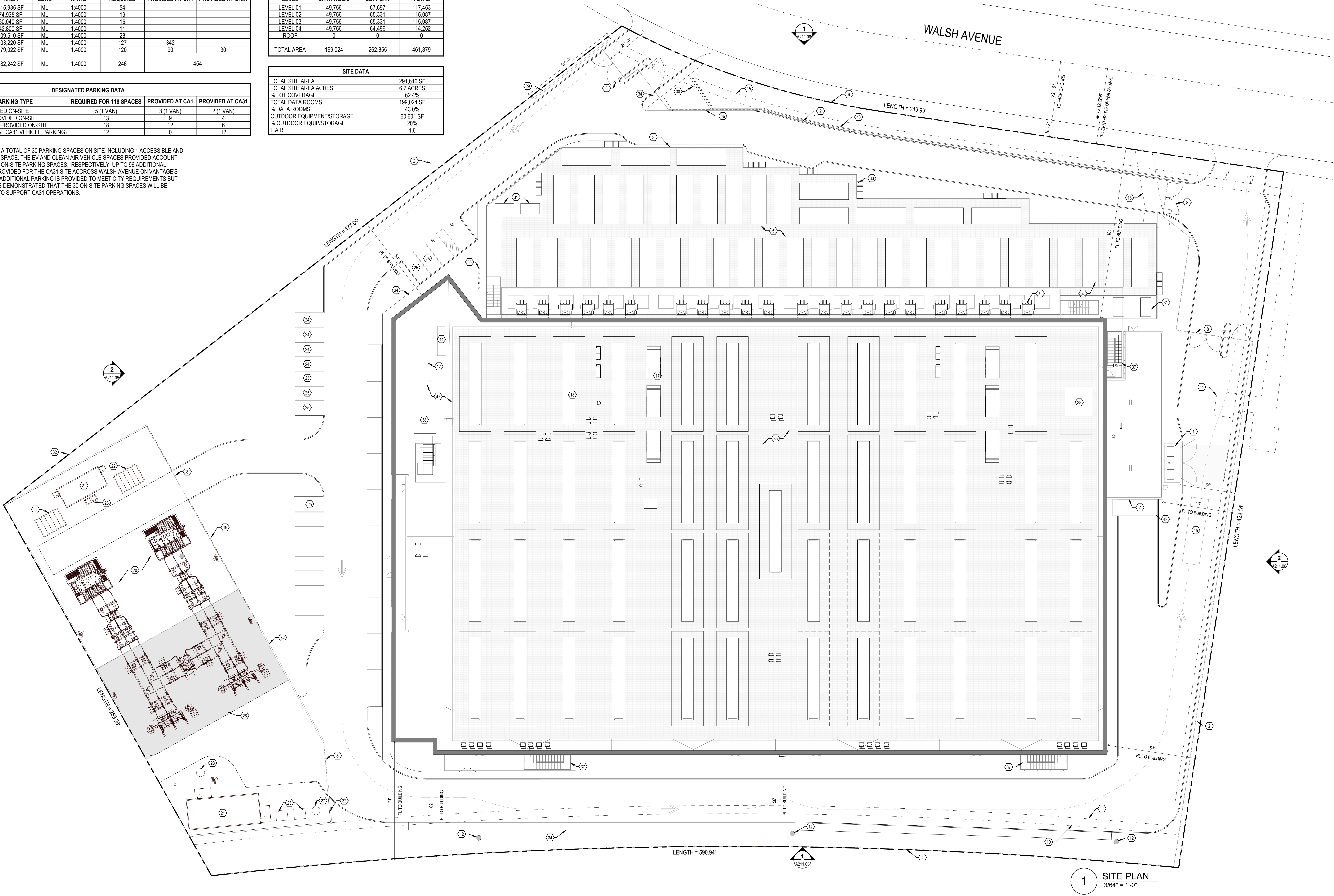
PARKING DATA					
BUILDING	AREA	ZONE	RATIO	REQUIRED	PROVIDED AT CA1
CA1 - BUILDING V1	215,935 SF	ML	1:4000	54	
CA1 - BUILDING V2	74,935 SF	ML	1:4000	19	
CA1 - BUILDING V3	80,040 SF	ML	1:4000	15	
CA1 - BUILDING V4	42,800 SF	ML	1:4000	11	
CA1 - BUILDING V5	109,510 SF	ML	1:4000	28	
CA1 - TOTAL EXISTING	503,220 SF	ML	1:4000	127	342
CA31 - TOTAL EXISTING	475,022 SF	ML	1:4000	120	90
CA31					30
TOTAL PARKING	982,242 SF	ML	1:4000	246	454

DESIGNATED PARKING DATA			
DESIGNATED PARKING TYPE	REQUIRED FOR 118 SPACES	PROVIDED AT CA1	PROVIDED AT CA31
ACCESSIBLE STALLS PROVIDED ON-SITE	5 (1 VAN)	3 (1 VAN)	2 (1 VAN)
EV CHARGING STATIONS PROVIDED ON-SITE	13	9	4
CLEAN AIR VEHICLE SPACES PROVIDED ON-SITE	18	12	6
BICYCLE PARKING (10% TOTAL CA31 VEHICLE PARKING)	12	0	12

THE PROJECT WILL PROVIDE A TOTAL OF 30 PARKING SPACES ON SITE INCLUDING 1 ACCESSIBLE AND 1 VAN ACCESSIBLE PARKING SPACE. THE EV AND CLEAN AIR VEHICLE SPACES PROVIDED ACCOUNT FOR 13% AND 20% OF TOTAL ON-SITE PARKING SPACES. RESPECTIVELY UP TO 96 ADDITIONAL PARKING SPACES WILL BE PROVIDED FOR THE CA31 SITE ACROSS WALSH AVENUE ON VANTAGE'S EXISTING CA1 CAMPUS. THE ADDITIONAL PARKING IS PROVIDED TO MEET CITY REQUIREMENTS BUT VANTAGE'S EXPERIENCE HAS DEMONSTRATED THAT THE 30 ON-SITE PARKING SPACES WILL BE SUFFICIENT ON THEIR OWN TO SUPPORT CA31 OPERATIONS.

CA31 BUILDING - NET SQUARE FOOTAGE			
LEVEL	DATA ROOM	SUPPORT	TOTAL
LEVEL 01	49,756	67,697	117,453
LEVEL 02	49,756	65,331	115,087
LEVEL 03	49,756	65,331	115,087
LEVEL 04	49,756	64,496	114,252
ROOF	0	0	0
TOTAL AREA	199,024	262,855	461,879

SITE DATA	
TOTAL SITE AREA	291,816 SF
TOTAL SITE AREA ACRES	6.7 ACRES
% LOT COVERAGE	62.4%
TOTAL DATA ROOMS	199,024 SF
% DATA ROOMS	43.0%
OUTDOOR EQUIPMENT/STORAGE	60,801 SF
% OUTDOOR EQUIP/STORAGE	20%
F.A.R.	1.6



GENERAL NOTES

PARKING
PER CITY OF SANTA CLARA TITLE 18 ZONING SECTION 18.74.030(D) DATA CENTERS, ONE SPACE PER FOUR THOUSAND (4,000) SQUARE FEET OF GROSS FLOOR AREA RESULTING IN A MINIMUM OF 120 PARKING SPACES. THE PROJECT APPLICANT IS REQUESTING A ZONING ADMINISTRATOR MODIFICATION TO ALLOW FOR SHARED PARKING WITH THE EXISTING EXCESS PARKING OF THE CA2 CAMPUS ACROSS WALSH AVE. WHEN COMBINED THE TOTAL PARKING FAR EXCEEDS THE REQUIRED PARKING REQUIREMENT.

BUILDING HEIGHT
THE PROJECT SITE IS ZONED AS MH. THE MAXIMUM BUILDING HEIGHT UNDER THE MH ZONING DESIGNATION IS 70 FEET WITH A PREVIOUSLY APPROVED MODIFICATION ALLOWING AN INCREASE IN HEIGHT UP TO 75 PERCENT. BUILDINGS UNDER THIS DESIGNATION ARE REQUIRED TO HAVE AT LEAST 15-FOOT SETBACK DISTANCE FROM THE STREET. THIS ZONING DESIGNATION ACCOMMODATES INDUSTRIES OPERATING SUBSTANTIALLY WITHIN AN ENCLOSED BUILDING. THE PREVIOUSLY APPROVED ALLOWABLE HEIGHT OF THE PROPOSED BUILDINGS TO THE TOP OF THE ROOF WOULD BE APPROXIMATELY 87.5 FEET ABOVE GROUND SURFACE (82.25 FEET ABOVE GROUND SURFACE TO THE TOP OF THE ROOF SCREEN). THE PROPOSED BUILDINGS WOULD BE SET BACK FROM THE STREET BY MORE THAN 15 FEET.

AIRPORT OPERATION
THE PROJECT SITE IS LOCATED APPROXIMATELY 0.3 MILE WEST OF THE NORMAN Y. MINETA SAN JOSE INTERNATIONAL AIRPORT AND IS NOT WITHIN THE NORMAN Y. MINETA SAN JOSE INTERNATIONAL AIRPORT INFLUENCE AREA. THE HEIGHT OF THE PROPOSED BUILDINGS TO THE TOP OF THE METAL SCREEN WOULD BE APPROXIMATELY 102.25 FEET ABOVE GROUND SURFACE. AIRPORT SAFETY HAZARDS ASSOCIATED WITH THE NORMAN Y. MINETA SAN JOSE INTERNATIONAL AIRPORT WERE EVALUATED ACCORDING TO AIRPORT SAFETY ZONES AND FEDERAL AVIATION REGULATIONS PART 77 AIRSPACE SURFACES. THE PROJECT SITE IS OUTSIDE OF ALL AIRPORT SAFETY ZONES. ADDITIONALLY, THE PROPOSED PROJECT WOULD NOT INTERFERE WITH THE PART 77 AIRSPACE SURFACE FOR THE NORMAN Y. MINETA SAN JOSE INTERNATIONAL AIRPORT, WHICH ESTABLISHES A MAXIMUM STRUCTURE HEIGHT OF 212 FEET (ABOVE MEAN SEA LEVEL) FOR THE PROJECT SITE. IN ACCORDANCE WITH FAR REQUIREMENTS, THE PROJECT APPLICANT WOULD COMPLETE AND SUBMIT ALL NECESSARY NOTICES AND DOCUMENTATION TO THE FAA TO OBTAIN THE NECESSARY APPROVALS FOR CONSTRUCTION IN COMPLIANCE WITH FAA'S NOTICE OF PROPOSED CONSTRUCTION REQUIREMENTS. DUE TO COMPLIANCE WITH APPLICABLE REGULATIONS SET FORTH BY THE NORMAN Y. MINETA SAN JOSE INTERNATIONAL AIRPORT AND THE FAA, THE PROJECT WOULD NOT RESULT IN A CHANGE IN AIR TRAFFIC PATTERNS OR OBSTRUCT AIRPORT OPERATIONS.

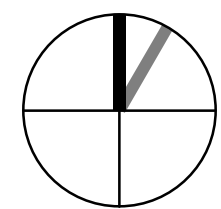
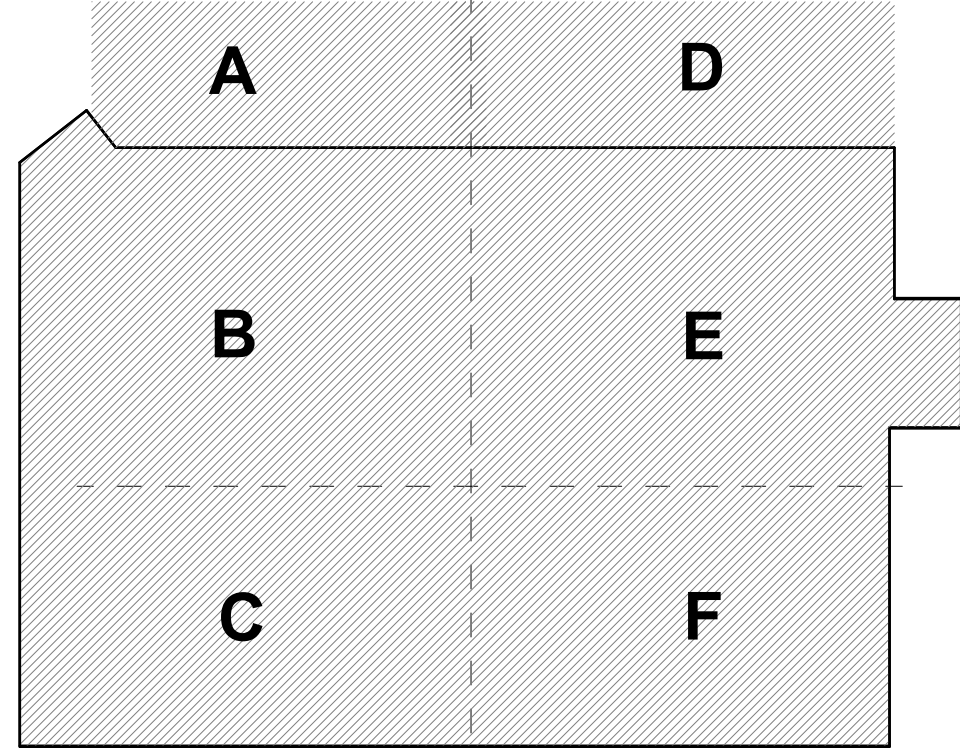
SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

- 1 TRASH ENCLOSURE AND STAGING AREA (DASHED)
- 2 8' TALL STEEL PALISADE PERIMETER SECURITY FENCE
- 3 31' TALL GENERATOR YARD SCREEN
- 4 VERTICAL CABLE TRAY SCREEN
- 5 GENERATOR YARD
- 6 PROPERTY LINE
- 7 LOADING DOCK
- 8 SECURITY GATE
- 9 ELECTRICAL GEAR
- 10 20' GENERAL PURPOSE EASEMENT
- 11 5' WIRE CLEARANCE EASEMENT
- 12 EXISTING ELECTRICAL POLE, TYP.
- 13 UNDERGROUND ELECTRIC EASEMENT
- 14 ELECTRIC UTILITY EASEMENT
- 15 10' GENERAL PURPOSE EASEMENT
- 16 SITE LIGHTING, SEE ELECTRICAL DRAWINGS
- 17 AIR HANDLING UNIT, TYP.
- 18 ROOFTOP CHILLER, TYP.
- 19 SUBSTATION SECURITY FENCE
- 20 SUBSTATION
- 21 CONTROL ENCLOSURE
- 22 MEDIUM VOLTAGE BOARD
- 23 TRANSFORMER
- 24 EV CHARGING SPACE
- 25 CLEAN AIR VEHICLE SPACE
- 26 SWITCHING STATION (SHADED AREA)
- 27 NEW 60KV POLE WITH 2-WAY DISCONNECT SWITCH
- 28 NEW 60KV TURN POLE WITH 1-WAY SWITCH

- 29 8' TALL GROUND FACE CMU NOISE BARRIER WALL
- 30 15' LANDSCAPED FRONT YARD SETBACK
- 31 SWITCHGEAR
- 32 SUBSTATION GROUND FACE CMU WALL
- 33 STAIR TO GENERATOR YARD WALKING PLATFORM
- 34 SIDEWALK
- 35 DRAINAGE PLATFORM
- 36 5 CLASS II BICYCLE PARKING SPACES, BLEND A BIKE STAND BY NOLA
- 37 EXIT STAIR
- 38 ELEVATOR PENTHOUSE
- 39 ACCESSIBLE PARKING SPACE
- 40 ACCESSIBLE VAN PARKING SPACE
- 41 ENTRY GATE CARD READER
- 42 CANOPY
- 43 30" RETAINING WALL WITH 8' TALL STEEL PALISADE PERIMETER FENCE ABOVE
- 44 STAIR ACCESS ROOF HATCH
- 45 TRASH COLLECTION TRUCK, WITH DASH LINE INDICATING TRAVEL PATH
- 46 24' WIDE SLIDING GATE
- 47 ALUMINUM SCREEN WALL FOR ROOFTOP UNIT

KEY PLAN



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601
MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300



www.rosendin.com
8800 Mainway Road
San Jose, CA 95133
1-408-286-2800

Osland Office
2980 Osland Street
San Jose, CA 95134
1-408-333-0000

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-6220
San Jose, California

www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMMca.com



REED ASSOCIATES
LANDSCAPE ARCHITECTS
1100 CALIFORNIA STREET
SAN JOSE, CA 95128
PHONE: 415-281-1000

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	08-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

ARCHITECTURAL SITE PLAN

AS101.01

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

E

D

C

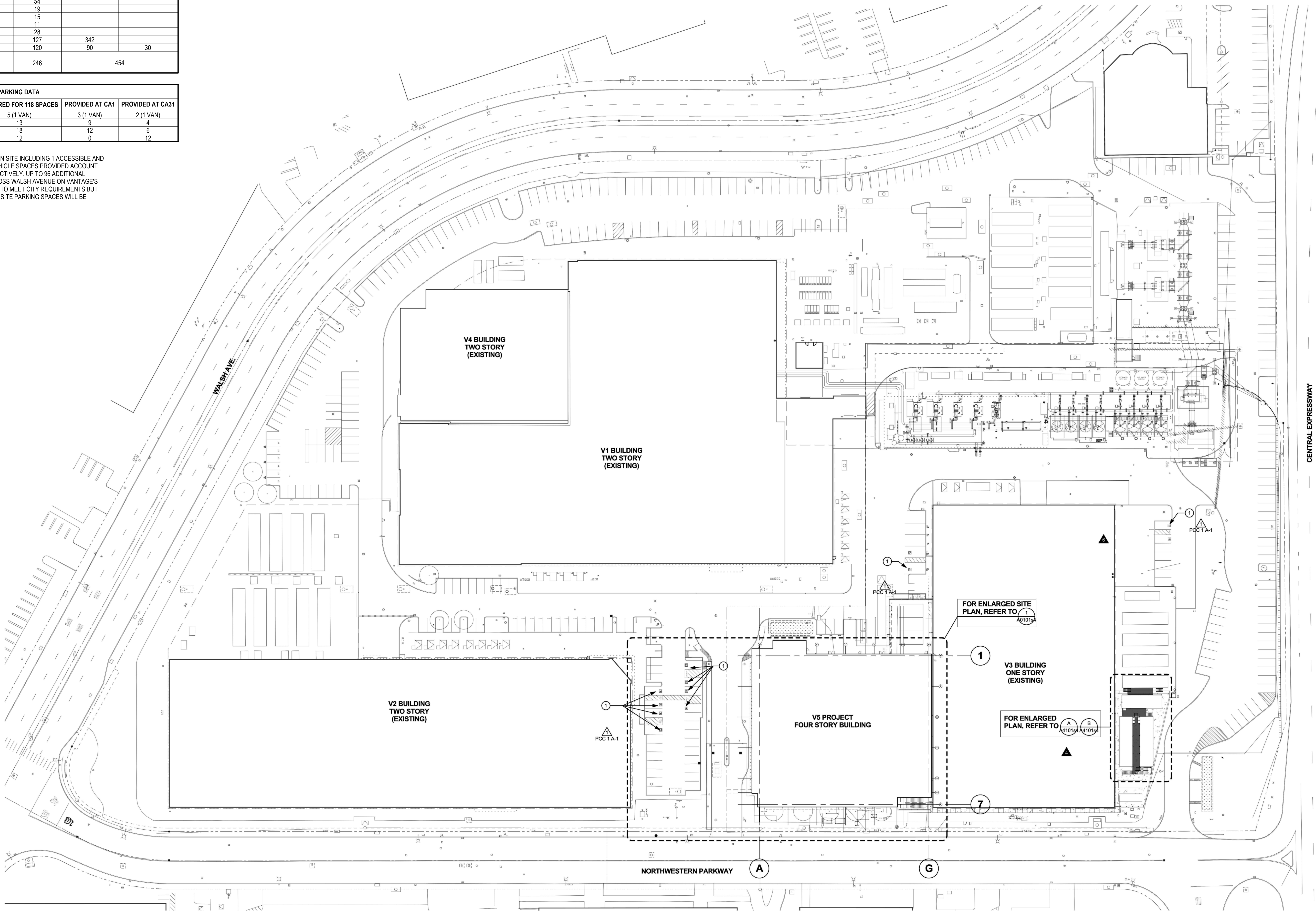
B

A

PARKING DATA						
BUILDING	AREA	ZONE	RATIO	REQUIRED	PROVIDED AT CA1	PROVIDED AT CA31
CA1 - BUILDING V1	215,935 SF	ML	1:4000	54		
CA1 - BUILDING V2	74,935 SF	ML	1:4000	19		
CA1 - BUILDING V3	80,040 SF	ML	1:4000	15		
CA1 - BUILDING V4	42,800 SF	ML	1:4000	11		
CA1 - BUILDING V5	109,510 SF	ML	1:4000	28		
CA1 - TOTAL EXISTING	503,220 SF	ML	1:4000	127	342	
CA31	479,022 SF	ML	1:4000	120	90	30
TOTAL PARKING	982,242 SF	ML	1:4000	246		454

DESIGNATED PARKING DATA			
DESIGNATED PARKING TYPE	REQUIRED FOR 118 SPACES	PROVIDED AT CA1	PROVIDED AT CA31
ACCESSIBLE STALLS PROVIDED ON-SITE	5 (1 VAN)	3 (1 VAN)	2 (1 VAN)
EV CHARGING STATIONS PROVIDED ON-SITE	13	9	4
CLEAN AIR VEHICLE SPACES PROVIDED ON-SITE	18	12	6
BICYCLE PARKING (10% TOTAL CA31 VEHICLE PARKING)	12	0	12

THE PROJECT WILL PROVIDE A TOTAL OF 30 PARKING SPACES ON SITE INCLUDING 1 ACCESSIBLE AND 1 VAN ACCESSIBLE PARKING SPACE. THE EV AND CLEAN AIR VEHICLE SPACES PROVIDED ACCOUNT FOR 13% AND 20% OF TOTAL ON-SITE PARKING SPACES, RESPECTIVELY. UP TO 96 ADDITIONAL PARKING SPACES WILL BE PROVIDED FOR THE CA31 SITE ACROSS WALSH AVENUE ON VANTAGE'S EXISTING CA1 CAMPUS. THE ADDITIONAL PARKING IS PROVIDED TO MEET CITY REQUIREMENTS BUT VANTAGE'S EXPERIENCE HAS DEMONSTRATED THAT THE 30 ON-SITE PARKING SPACES WILL BE SUFFICIENT ON THEIR OWN TO SUPPORT CA31 OPERATIONS.



1 Campus Parking Plan
1" = 40'-0"

GENERAL NOTES

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

SHEET LEGEND

OWNER

VANTAGE
DATA CENTERS

ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER

Southland Industries
33225 Western Ave.
Union City, CA 94587
510-477-3300

ROSENDIN

www.rosendin.com
880 Mainway Road
San Jose, CA 95133
1-408-285-2800

Orland Office
2880 Orlandway
San Jose, CA 95134
1-408-333-0200

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-6220
San Jose, California

www.pase.com
Pleasanton, California

CIVIL ENGINEER

HMM

1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMMca.com

REED ASSOCIATES
LANDSCAPE ARCHITECTS
225 SOUTH FASSETT ROAD
PUEBLO, COLORADO 81001

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-08-2021
B	ISSUED FOR PCC REVIEW	08-11-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

CAMPUS PARKING PLAN

AS101.02

E

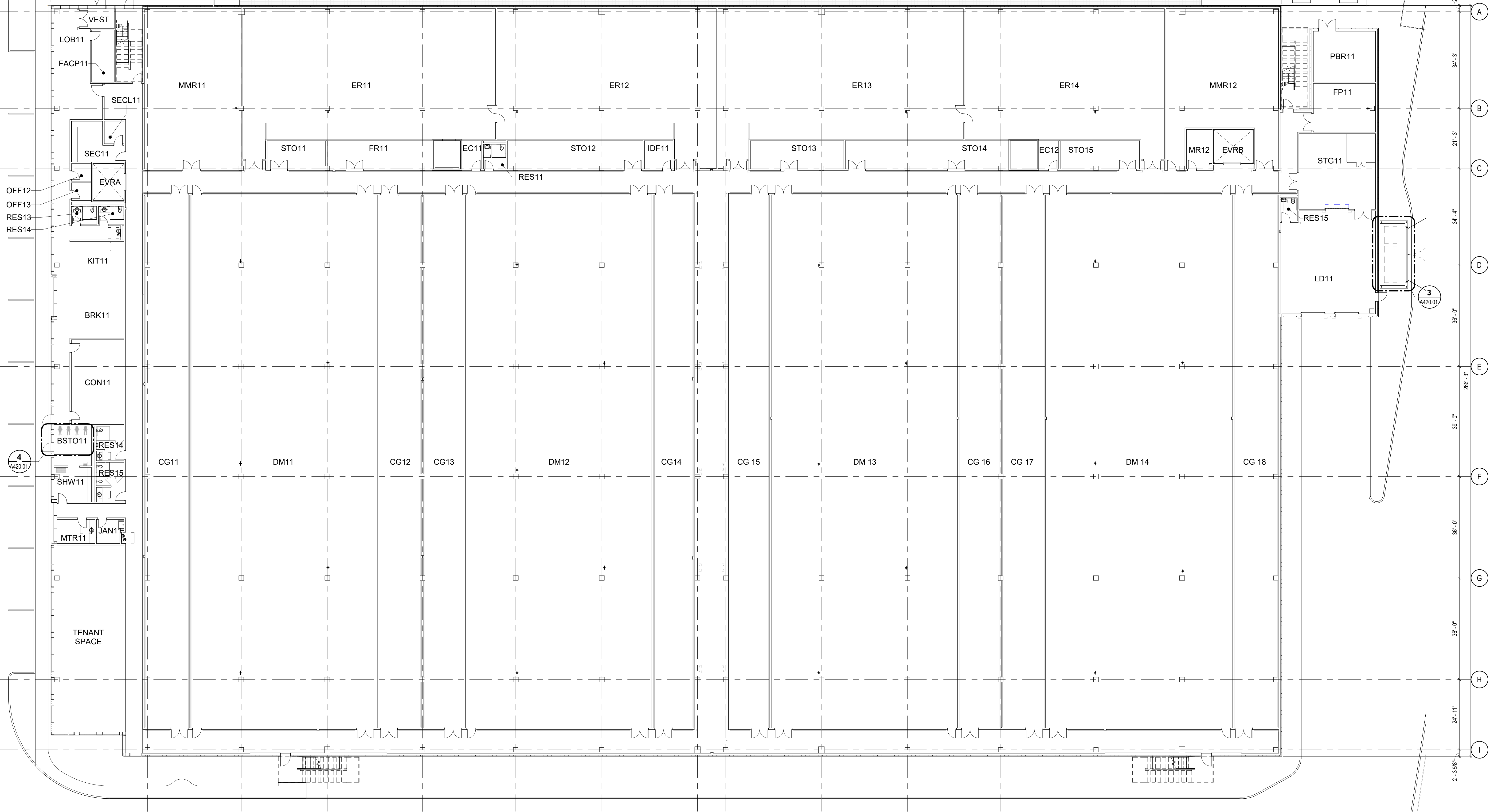
D

C

B

A

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14
2'-1 3/4" 32'-1" 33'-3" 30'-6" 33'-9" 33'-1" 30'-6" 33'-11" 10'-0" 33'-11" 30'-6" 33'-1" 33'-9" 30'-6" 33'-3" 2'-1 1/4"



1 FLOOR PLAN - LEVEL 1
1/16" = 1'-0"

GENERAL NOTES

- ALL KEYNOTES AND ANNOTATIONS APPLY TO THE CURRENT SHEET ONLY. TO SEE KEYNOTES AND ANNOTATIONS FOR AN ADJACENT VIEW, SEE THAT SHEET.
- PROVIDE 4" HIGH CONCRETE CURB AT ALL EXPOSED LOCATIONS WHERE 2 OR MORE CONDUITS PENETRATE THE SLAB.
- PLACE CONTROL JOINTS WHERE INDICATED BY "C.J." WHERE NOT INDICATED, PLACE CONTROL JOINTS AS NEEDED WHERE A WALL OR PARTITION RUNS UNINTERRUPTED FOR 30' HORIZONTALLY IN PLAN.
- REFER TO OVERALL PLANS FOR EXTERIOR ELEVATION TAGS.
- REFER TO 140 SERIES SHEETS FOR WALL SPECIALTIES, INCLUDING WALL PROTECTION.
- REFER TO SITE AND CIVIL DRAWINGS FOR SITE INFORMATION.
- ALL PENETRATIONS IN DATA HALLS, MMR, AND CG ROOMS TO MAINTAIN REQUIRED AIR SEPARATION, REFER TO 140 SERIES DRAWINGS FOR DETAILS.
- ALL PENETRATIONS IN DATA HALLS, MMR, AND CG ROOMS TO BE SEALED TO MAINTAIN REQUIRED FIRE SEPARATION, REFER TO 100 SERIES DRAWINGS FOR DETAILS.
- REFER TO MATERIAL FINISH SCHEDULE ON SHEET A002.1 FOR MATERIAL TAG ABBREVIATIONS.

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

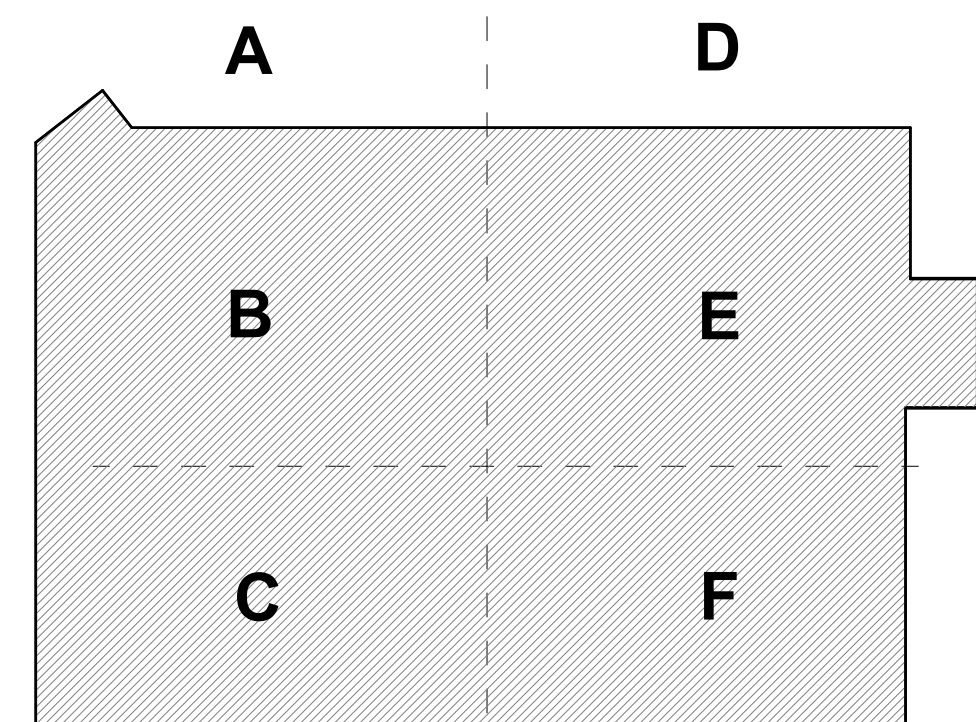
SHEET LEGEND

- SECTOR MATCHLINE
- SECTOR SHEET REFERENCE
- INDICATES SHEET NUMBER
- INDICATES DETAIL NUMBER
- GYPSUM BOARD CONTROL JOINT, BOTH SIDES OF WALL, TYP. REFER TO DETAILS 1 THROUGH 10 ON SHEET A002.1. SEE SPECIFICATION SECTION 09200
- CORNER GUARD, SEE SPECIFICATION SECTION 102600
- FIRE EXTINGUISHER TAG
- FIRE EXTINGUISHER TYPE
- FIRE EXTINGUISHER CABINET TYPE
- *SEE FIRE EXTINGUISHER NOTES ON SHEET A001 FOR CABINET AND EXTINGUISHER TYPES
- FLOOR DRAIN
- CMU WALL

SPECIALTY LINE TYPES

- VAPOR BARRIER - SPECIFICATION SECTION 072100
- BULLET RESISTANT PARTITION - SPECIFICATION SECTION 06863 AND 06563
- CHECKER PLATE WALL PROTECTION - SPECIFICATION SECTION 09700
- CRASH RAIL - SPECIFICATION SECTION 102600
- ALL PENETRATIONS WITHIN THE DESIGNATED WALL TO BE SEALED

KEY PLAN



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300

ROSENDIN

www.rosendin.com
880 Montgomery Road
San Jose, CA 95133
1-408-286-2800

880 Montgomery Road
San Jose, CA 95134
1-408-286-2800

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-6220 www.pase.com
San Jose, California Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
ARCHITECTS
1570 OAKLAND ROAD
SAN JOSE, CA 95131

PROGRESS SET
NOT FOR CONSTRUCTION

D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

No.	Description	Date
-----	-------------	------

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

FLOOR PLAN - LEVEL 1

A111.01

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

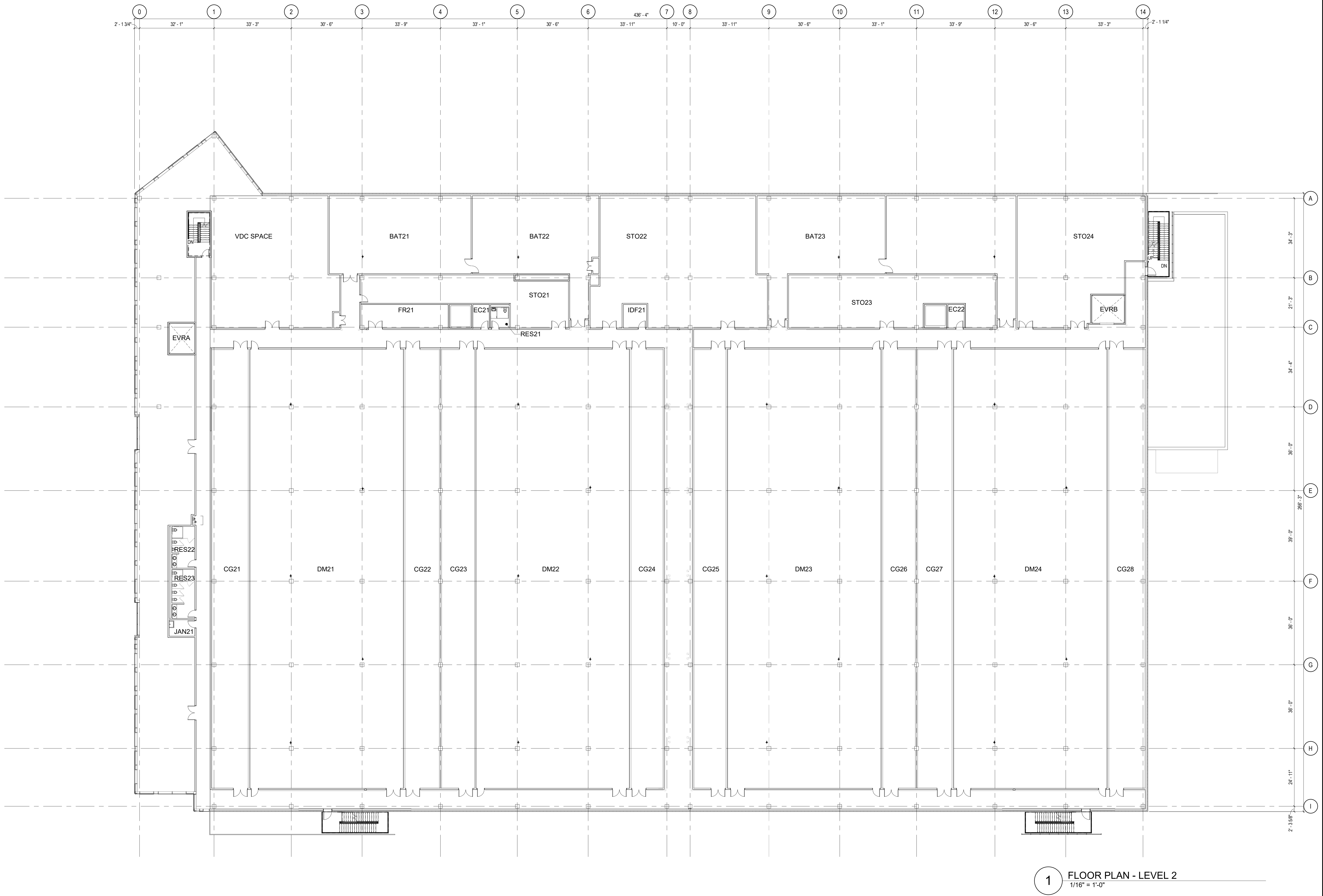
E

D

C

B

A



1 FLOOR PLAN - LEVEL 2
1/16" = 1'-0"

GENERAL NOTES

- A. ALL KEYNOTES AND ANNOTATIONS APPLY TO THE CURRENT SHEET ONLY. TO SEE KEYNOTES AND ANNOTATIONS FOR AN ADJACENT VIEW, SEE THAT SHEET.
- B. PROVIDE 4" HIGH CONCRETE CURB AT ALL EXPOSED LOCATIONS WHERE 2 OR MORE CONDUITS PENETRATE THE SLAB.
- C. PLACE CONTROL JOINTS WHERE INDICATED BY "C.J." WHERE NOT INDICATED, PLACE CONTROL JOINTS AS NEEDED WHERE A WALL OR PARTITION RUNS UNINTERRUPTED FOR 30' HORIZONTALLY IN PLAN.
- D. REFER TO OVERALL PLANS FOR EXTERIOR ELEVATION TAGS.
- E. REFER TO 140 SERIES SHEETS FOR WALL SPECIALTIES, INCLUDING WALL PROTECTION.
- F. REFER TO SITE AND CIVIL DRAWINGS FOR SITE INFORMATION.
- G. ALL PENETRATIONS IN DATA HALLS, MMIR, AND CG ROOMS TO MAINTAIN REQUIRED AIR SEPARATION, REFER TO 140 SERIES DRAWINGS FOR DETAILS.
- H. ALL PENETRATIONS IN DATA HALLS, MMIR, AND CG ROOMS TO BE SEALED TO MAINTAIN REQUIRED FIRE SEPARATION, REFER TO 100 SERIES DRAWINGS FOR DETAILS.
- I. REFER TO MATERIAL FINISH SCHEDULE ON SHEET A002.1 FOR MATERIAL TAG ABBREVIATIONS.

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

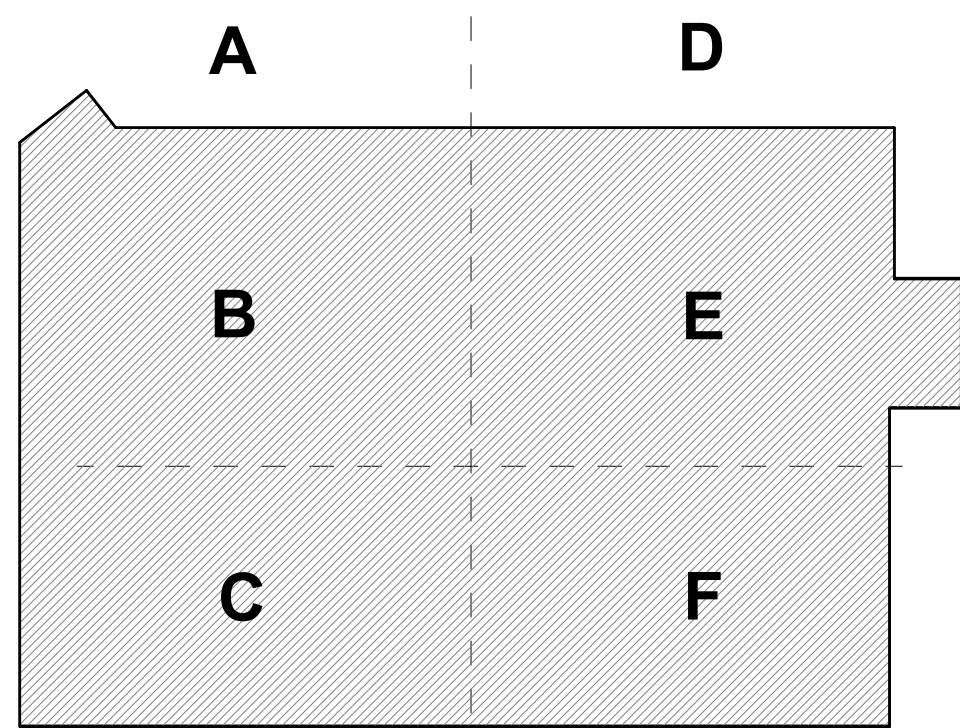
SHEET LEGEND

- SECTOR MATCHLINE
- SECTOR SHEET REFERENCE
- INDICATES SHEET NUMBER
- INDICATES DETAIL NUMBER
- CJ GYPSUM BOARD CONTROL JOINT, BOTH SIDES OF WALL, TYP. REFER TO DETAILS 1 THROUGH 10 ON SHEET A002.1. SEE SPECIFICATION SECTION 09200
- CG CORNER GUARD, SEE SPECIFICATION SECTION 102600
- FIRE EXTINGUISHER TAG
- FIRE EXTINGUISHER TYPE
- FIRE EXTINGUISHER CABINET TYPE
- *SEE FIRE EXTINGUISHER NOTES ON SHEET A001 FOR CABINET AND EXTINGUISHER TYPES
- FLOOR DRAIN
- CMU WALL

SPECIALTY LINE TYPES:

- VAPOR BARRIER - SPECIFICATION SECTION 072100
- BULLET RESISTANT PARTITION - SPECIFICATION SECTION 06683 AND 06563
- CHECKER PLATE WALL PROTECTION - SPECIFICATION SECTION 007500
- CRASH RAIL - SPECIFICATION SECTION 102600
- ALL PENETRATIONS WITHIN THE DESIGNATED WALL TO BE SEALED

KEY PLAN



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300

ROSENDIN

www.rosendin.com
880 Mainway Road
San Jose, CA 95133
1-408-286-2800

Osland Office
2880 Osland Drive
San Jose, CA 95134
1-408-333-0060

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-6220
San Jose, California

www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
ARCHITECTS
1570 OAKLAND ROAD
SAN JOSE, CALIFORNIA 95131
PHONE: (408) 487-2200

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

FLOOR PLAN - LEVEL 2

A111.02

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

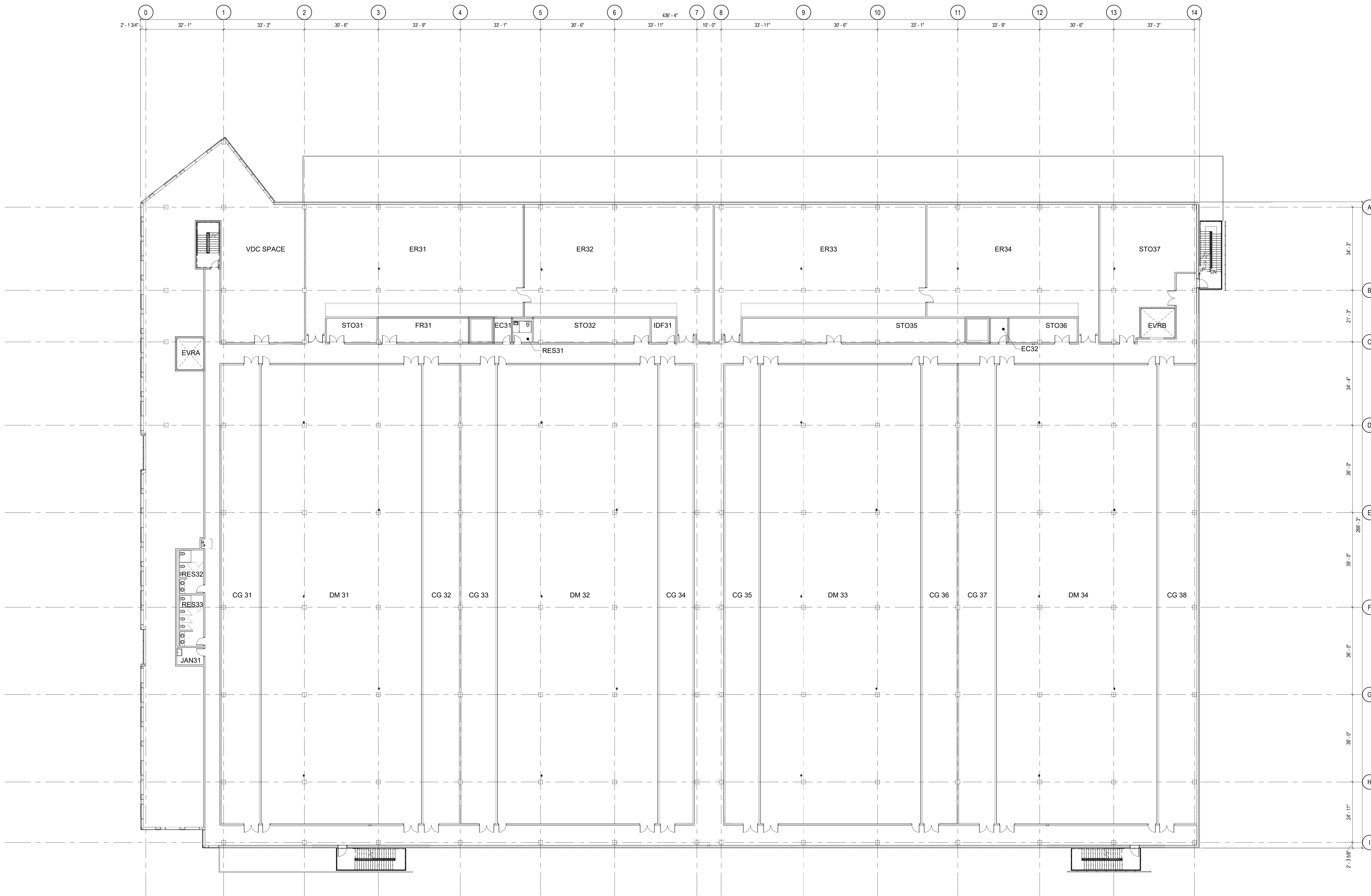
E

D

C

B

A



1 FLOOR PLAN - LEVEL 3
1/16" = 1'-0"

GENERAL NOTES

- A. ALL KEYNOTES AND ANNOTATIONS APPLY TO THE CURRENT SHEET ONLY. TO SEE KEYNOTES AND ANNOTATIONS FOR AN ADJACENT VIEW, SEE THAT SHEET.
- B. PROVIDE 4" HIGH CONCRETE CURB AT ALL EXPOSED LOCATIONS WHERE 2 OR MORE CONDUITS PENETRATE THE SLAB.
- C. PLACE CONTROL JOINTS WHERE INDICATED BY "C.J." WHERE NOT INDICATED, PLACE CONTROL JOINTS AS NEEDED WHERE A WALL OR PARTITION RUNS UNINTERRUPTED FOR 30' HORIZONTALLY IN PLAN.
- D. REFER TO OVERALL PLANS FOR EXTERIOR ELEVATION TAGS.
- E. REFER TO 140 SERIES SHEETS FOR WALL SPECIALTIES, INCLUDING WALL PROTECTION.
- F. REFER TO SITE AND CIVIL DRAWINGS FOR SITE INFORMATION.
- G. ALL PENETRATIONS IN DATA HALLS, MMIR, AND CG ROOMS TO MAINTAIN REQUIRED AIR SEPARATION, REFER TO 140 SERIES DRAWINGS FOR DETAILS.
- H. ALL PENETRATIONS IN DATA HALLS, MMIR, AND CG ROOMS TO BE SEALED TO MAINTAIN REQUIRED FIRE SEPARATION, REFER TO 100 SERIES DRAWINGS FOR DETAILS.
- I. REFER TO MATERIAL FINISH SCHEDULE ON SHEET A002.1 FOR MATERIAL TAG ABBREVIATIONS.

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

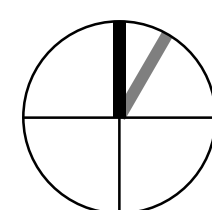
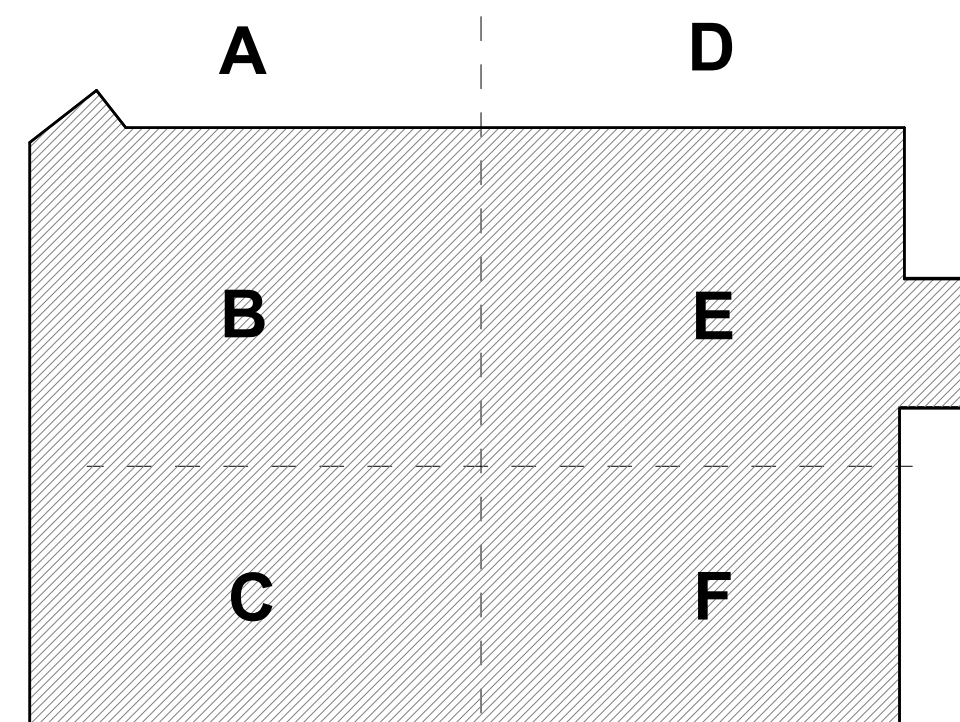
SHEET LEGEND

- SECTOR MATCHLINE
- SECTOR SHEET REFERENCE
- INDICATES SHEET NUMBER
- INDICATES DETAIL NUMBER
- CJ GYPSUM BOARD CONTROL JOINT, BOTH SIDES OF WALL, TYP. REFER TO DETAILS 1 THROUGH 10 ON SHEET A002.1. SEE SPECIFICATION SECTION 09200
- CG CORNER GUARD, SEE SPECIFICATION SECTION 102600
- FIRE EXTINGUISHER TAG
- FIRE EXTINGUISHER TYPE
- FIRE EXTINGUISHER CABINET TYPE
- *SEE FIRE EXTINGUISHER NOTES ON SHEET A001 FOR CABINET AND EXTINGUISHER TYPES
- FLOOR DRAIN
- CMU WALL

SPECIALTY LINE TYPES:

- VAPOR BARRIER - SPECIFICATION SECTION 072100
- BULLET RESISTANT PARTITION - SPECIFICATION SECTION 06683 AND 06563
- CHECKER PLATE WALL PROTECTION - SPECIFICATION SECTION 067500
- CRASH RAIL - SPECIFICATION SECTION 102600
- ALL PENETRATIONS WITHIN THE DESIGNATED WALL TO BE SEALED

KEY PLAN



OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300

ROSENDIN

www.rosendin.com
8800 Midway Road
San Jose, CA 95133
1-408-286-2800

Oakland Office
2880 Oakway Drive
San Jose, CA 95134
1-408-286-2800

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-6220
San Jose, California

www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
ARCHITECTS
1570 OAKLAND ROAD
SAN JOSE, CALIFORNIA 95131
PHONE: (408) 487-2200

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

FLOOR PLAN - LEVEL 3

A111.03

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

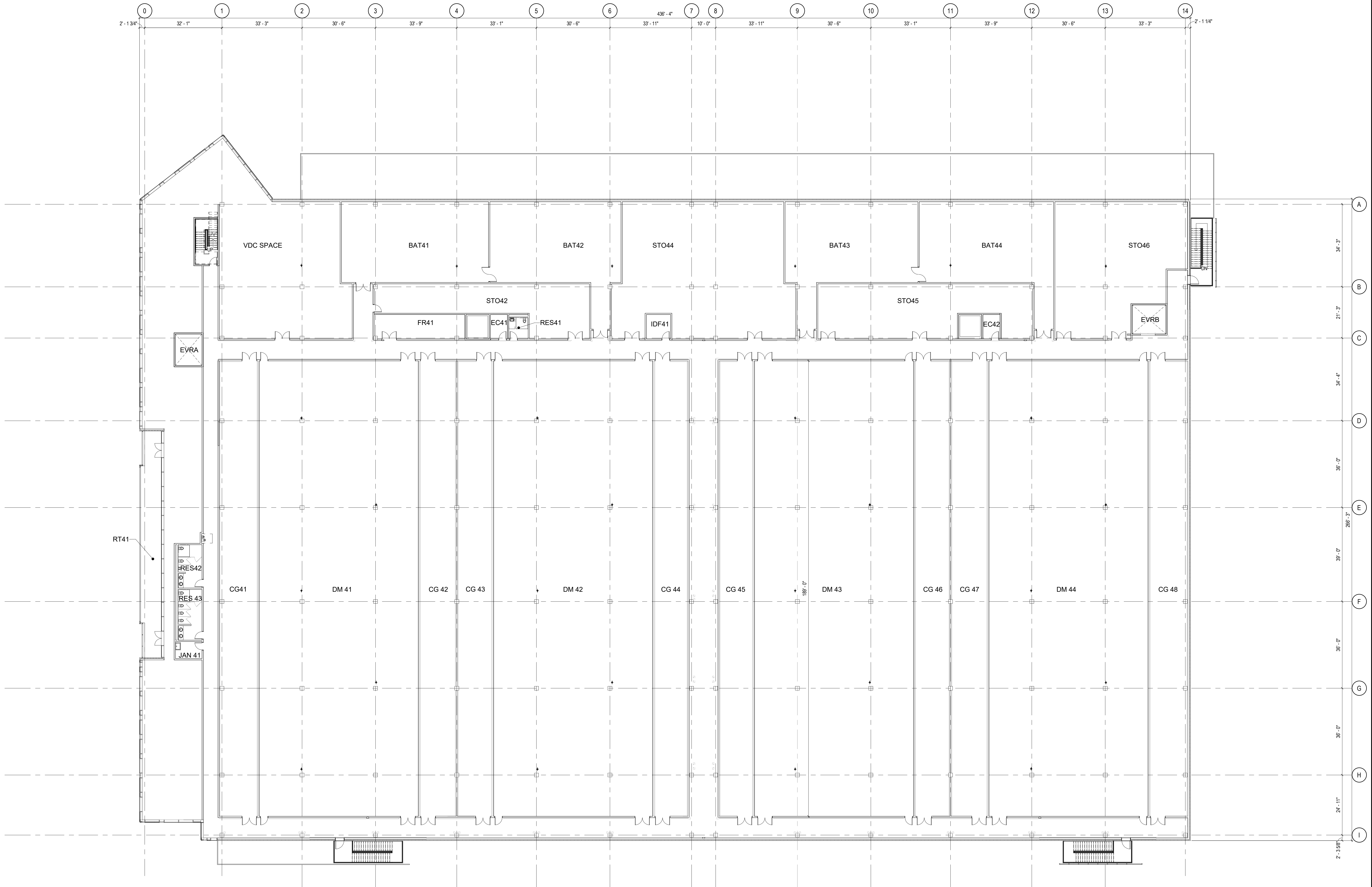
E

D

C

B

A



1 FLOOR PLAN - LEVEL 4
1/16" = 1'-0"

GENERAL NOTES

- ALL KEYNOTES AND ANNOTATIONS APPLY TO THE CURRENT SHEET ONLY. TO SEE KEYNOTES AND ANNOTATIONS FOR AN ADJACENT VIEW, SEE THAT SHEET.
- PROVIDE 4" HIGH CONCRETE CURB AT ALL EXPOSED LOCATIONS WHERE 2 OR MORE CONDUITS PENETRATE THE SLAB.
- PLACE CONTROL JOINTS WHERE INDICATED BY "C.J." WHERE NOT INDICATED, PLACE CONTROL JOINTS AS NEEDED WHERE A WALL OR PARTITION RUNS UNINTERRUPTED FOR 30' HORIZONTALLY IN PLAN.
- REFER TO OVERALL PLANS FOR EXTERIOR ELEVATION TAGS.
- REFER TO 140 SERIES SHEETS FOR WALL SPECIALTIES, INCLUDING WALL PROTECTION.
- REFER TO SITE AND CIVIL DRAWINGS FOR SITE INFORMATION.
- ALL PENETRATIONS IN DATA HALLS, MMIR, AND CG ROOMS TO MAINTAIN REQUIRED AIR SEPARATION, REFER TO 140 SERIES DRAWINGS FOR DETAILS.
- ALL PENETRATIONS IN DATA HALLS, MMIR, AND CG ROOMS TO BE SEALED TO MAINTAIN REQUIRED FIRE SEPARATION, REFER TO 100 SERIES DRAWINGS FOR DETAILS.
- REFER TO MATERIAL FINISH SCHEDULE ON SHEET A002.1 FOR MATERIAL TAG ABBREVIATIONS.

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

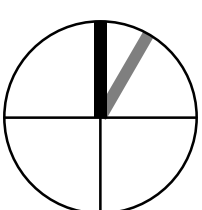
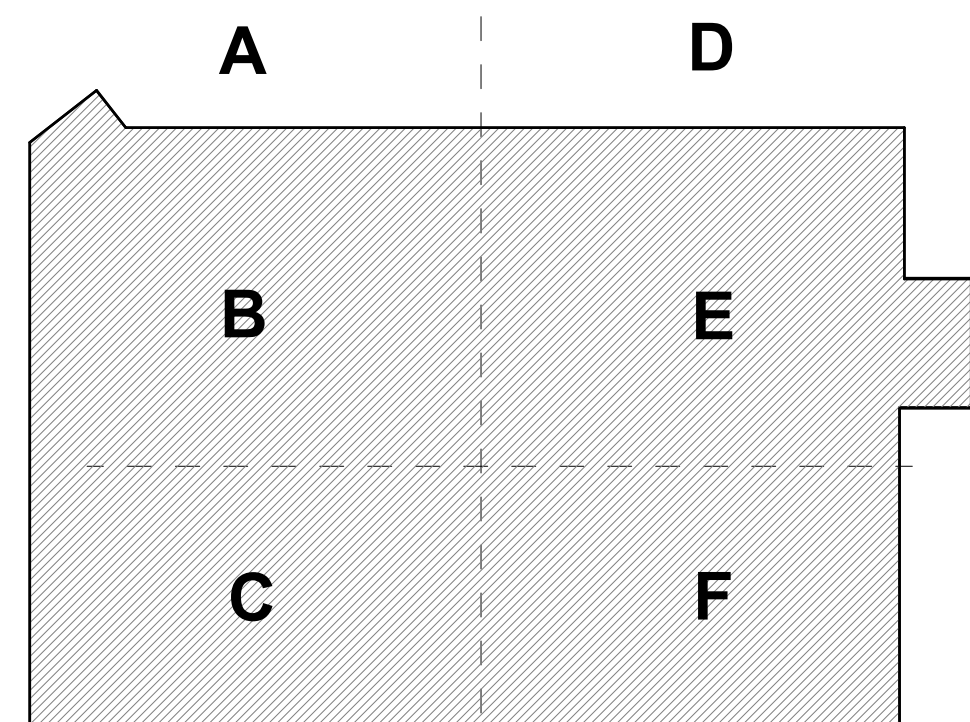
SHEET LEGEND

- SECTOR MATCH LINE
- 1 HOUR RATING
- SECTOR SHEET REFERENCE
- INDICATES SHEET NUMBER
- INDICATES DETAIL NUMBER
- CJ GYPSUM BOARD CONTROL JOINT, BOTH SIDES OF WALL, TYP. REFER TO DETAILS 1 THROUGH 10 ON SHEET A002.1. SEE SPECIFICATION SECTION 09200
- CG CORNER GUARD, SEE SPECIFICATION SECTION 102600
- FIRE EXTINGUISHER TAG
- FIRE EXTINGUISHER TYPE
- FIRE EXTINGUISHER CABINET TYPE
- *SEE FIRE EXTINGUISHER NOTES ON SHEET A001 FOR CABINET AND EXTINGUISHER TYPES
- FLOOR DRAIN
- CMU WALL

SPECIALTY LINE TYPES:

- VAPOR BARRIER - SPECIFICATION SECTION 072100
- BULLET RESISTANT PARTITION - SPECIFICATION SECTION 06863 AND 06963
- CHECKER PLATE WALL PROTECTION - SPECIFICATION SECTION 06700
- CRASH RAIL - SPECIFICATION SECTION 102600
- ALL PENETRATIONS WITHIN THE DESIGNATED WALL TO BE SEALED

KEY PLAN



OWNER



ARCHITECT

**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510.477.3300



www.rosendin.com
800.946.7363
San Jose, CA 95133
1.408.285.2800

Osland Office
2800 Osland Drive
San Jose, CA 95134
1.408.285.2800

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-6220
San Jose, California
www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
ARCHITECTS
1570 OAKLAND ROAD
SAN JOSE, CALIFORNIA 95131
PHONE: (408) 487-2200

PROGRESS SET
NOT FOR CONSTRUCTION

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

FLOOR PLAN - LEVEL 4

A111.04

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

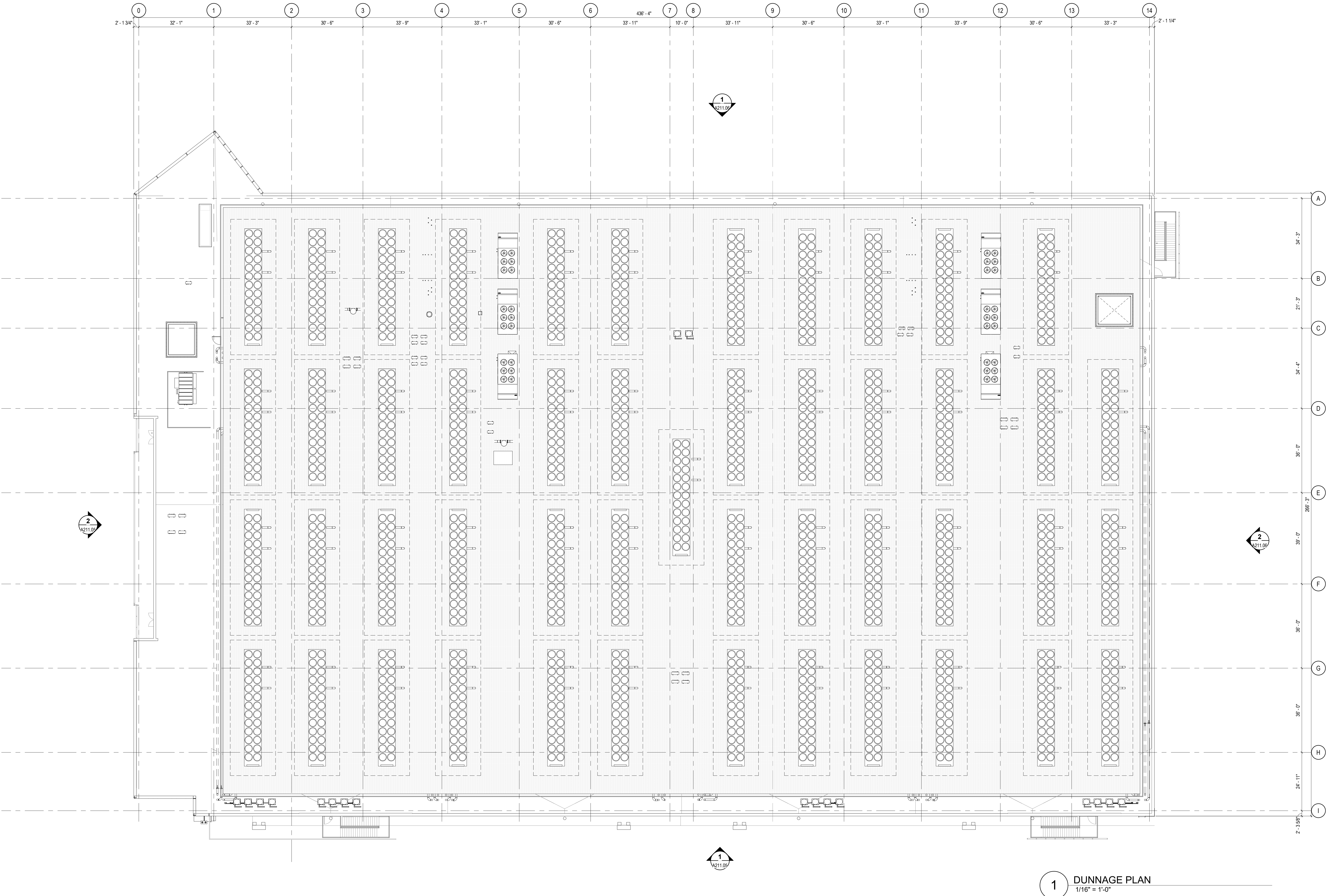
E

D

C

B

A



GENERAL NOTES	
A.	ALL KEYNOTES AND ANNOTATIONS APPLY TO THE CURRENT SHEET ONLY. TO SEE KEYNOTES AND ANNOTATIONS FOR AN ADJACENT VIEW, SEE THAT SHEET.
B.	PROVIDE 4" HIGH CONCRETE CURB AT ALL EXPOSED LOCATIONS WHERE 2 OR MORE CONDUITS PENETRATE THE SLAB.
C.	PLACE CONTROL JOINTS WHERE INDICATED BY "C.J." WHERE NOT INDICATED, PLACE CONTROL JOINTS AS NEEDED WHERE A WALL OR PARTITION RUNS UNINTERRUPTED FOR 30' HORIZONTALLY IN PLAN.
D.	REFER TO OVERALL PLANS FOR EXTERIOR ELEVATION TAGS.
E.	REFER TO 140 SERIES SHEETS FOR WALL SPECIALTIES, INCLUDING WALL PROTECTION.
F.	REFER TO SITE AND CIVIL DRAWINGS FOR SITE INFORMATION.
G.	ALL PENETRATIONS IN DATA HALLS, MMF, AND CG ROOMS TO MAINTAIN REQUIRED AIR SEPARATION, REFER TO 140 SERIES DRAWINGS FOR DETAILS.
H.	ALL PENETRATIONS IN DATA HALLS, MMF, AND CG ROOMS TO BE SEALED TO MAINTAIN REQUIRED FIRE SEPARATION, REFER TO 100 SERIES DRAWINGS FOR DETAILS.
I.	REFER TO MATERIAL FINISH SCHEDULE ON SHEET A002.1 FOR MATERIAL TAG ABBREVIATIONS.

SHEET NOTES	
NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET	

SHEET LEGEND	
---	SECTOR MATCHLINE
---	SECTOR SHEET REFERENCE
---	INDICATES SHEET NUMBER
---	INDICATES DETAIL NUMBER
CJ	GYPSUM BOARD CONTROL JOINT, BOTH SIDES OF WALL, TYP. REFER TO DETAILS 1 THROUGH 10 ON SHEET A002.1. SEE SPECIFICATION SECTION 09200
CG	CORNER GUARD, SEE SPECIFICATION SECTION 102600
---	FIRE EXTINGUISHER TAG
---	FIRE EXTINGUISHER TYPE
---	FIRE EXTINGUISHER CABINET TYPE
---	"SEE FIRE EXTINGUISHER NOTES ON SHEET A001 FOR CABINET AND EXTINGUISHER TYPES"
---	FLOOR DRAIN
---	CMU WALL

KEY PLAN	

OWNER

VANTAGE
DATA CENTERS

ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**
SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601
MEP ENGINEER

Southland Industries
33225 Western Ave.
Union City, CA 94587
510-477-3300

ROSENDIN
www.rosendin.com
880 Mainway Road
San Jose, CA 95133
1.408.285.2800
Oakland Office
2800 Oakway Drive
San Jose, CA 95134
1.408.333.0060

STRUCTURAL ENGINEER
PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-6220
San Jose, California
www.pase.com
Pleasanton, California

CIVIL ENGINEER
HMH
1570 Oakland Road
San Jose, CA 95131
(408) 487-2200
HMHca.com

REED ASSOCIATES
ARCHITECTS
1570 OAKLAND ROAD
SAN JOSE, CA 95131
(408) 487-2200
HMHca.com

**PROGRESS SET
NOT FOR CONSTRUCTION**

No.	Description	Date
D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
B	ISSUED FOR PCC REVIEW	09-11-2021
I	ISSUED FOR 100% SD	07-16-2021
A	ISSUED FOR PCC REVIEW	05-10-2021

VANTAGE CA31
2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

DUNNAGE PLATFORM PLAN

A111.06

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

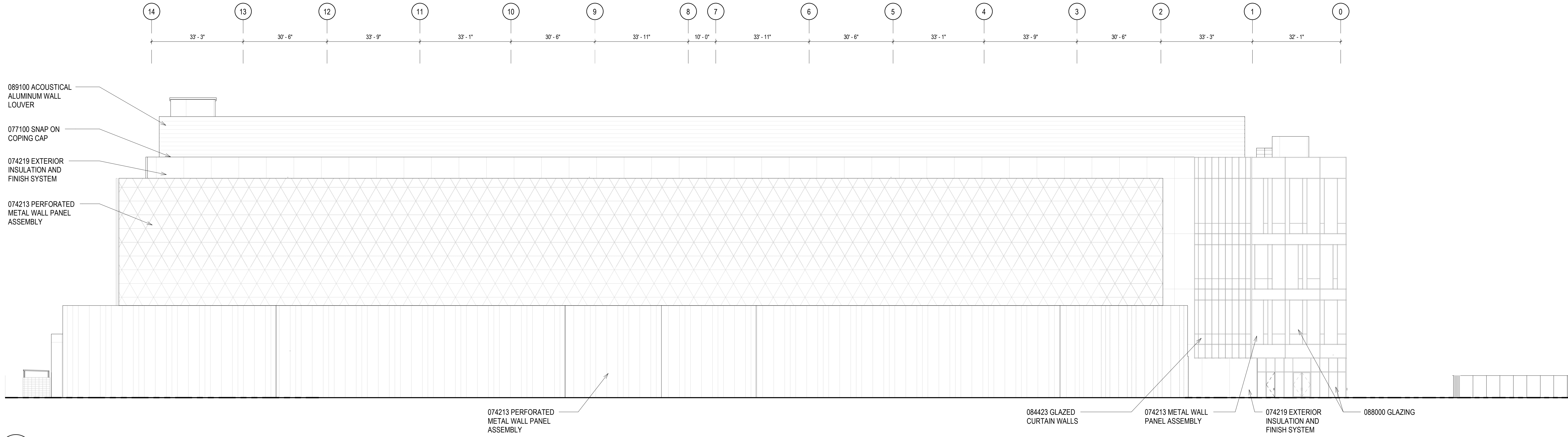
E

D

C

B

A



1 OVERALL BUILDING ELEVATION - NORTH
1/16" = 1'-0"



2 OVERALL BUILDING ELEVATION - WEST
1/16" = 1'-0"

GENERAL NOTES

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

SHEET LEGEND

OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300

Southland

ROSENDIN

www.rosendin.com
2880 Montgomery Road
San Jose, CA 95133
1-408-285-2800

Oakland Office
2980 Orchard Pkwy
San Jose, CA 95134
1-408-333-1000

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS

408-957-6220
San Jose, California

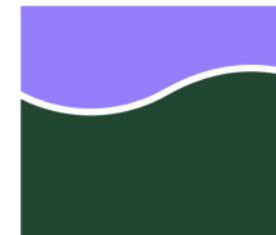
www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
LANDSCAPE ARCHITECTS
2000 CALIFORNIA AVENUE, SUITE 200
SAN JOSE, CA 95128

PROGRESS SET
NOT FOR CONSTRUCTION

D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
No.	Description	Date

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

EXTERIOR ELEVATIONS

A211.01

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1

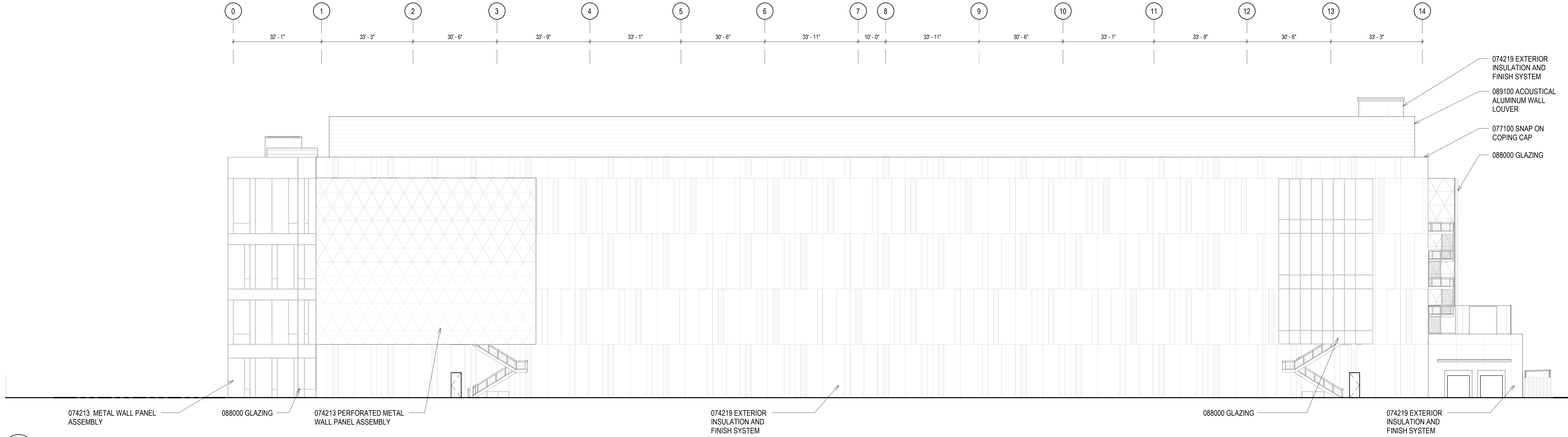
E

D

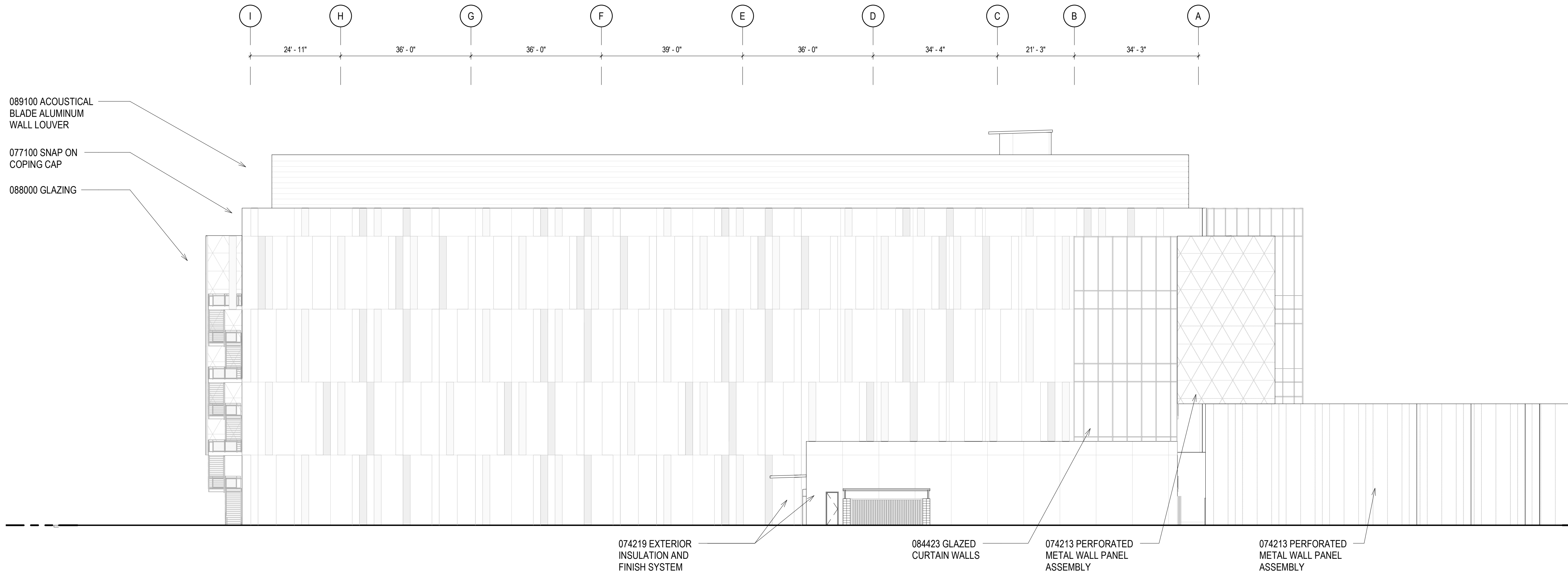
C

B

A



1 OVERALL BUILDING ELEVATION - SOUTH
1/16" = 1'-0"



2 OVERALL BUILDING ELEVATION - EAST
1/16" = 1'-0"

GENERAL NOTES

SHEET NOTES

NOTE: NOT ALL SHEET NOTES BELOW MAY BE USED ON THIS SHEET

SHEET LEGEND

- T/ PENTHOUSE ROOF 108' - 5"
- T/ SCREEN WALL 102' - 2 245/256"
- T/ DUNNAGE PLATFORM 94' - 2 245/256"
- T/ PARAPET 87' - 6"
- T/ ROOF 84' - 9"
- T/ ROOF - LOW POINT 80' - 6"
- LEVEL 4 60' - 4 1/2"
- LEVEL 3 40' - 3"
- LEVEL 2 20' - 1 1/2"
- LOW GEN PLATFORM 3' - 6"
- LEVEL 1 0"

- T/ PENTHOUSE ROOF 108' - 5"
- T/ SCREEN WALL 102' - 2 245/256"
- T/ DUNNAGE PLATFORM 94' - 2 245/256"
- T/ PARAPET 87' - 6"
- T/ ROOF 84' - 9"
- T/ ROOF - LOW POINT 80' - 6"
- LEVEL 4 60' - 4 1/2"
- LEVEL 3 40' - 3"
- LEVEL 2 20' - 1 1/2"
- LOW GEN PLATFORM 3' - 6"
- LEVEL 1 0"

OWNER



ARCHITECT
**SHEEHAN
NAGLE
HARTRAY
ARCHITECTS**

SHEEHAN NAGLE HARTRAY ARCHITECTS
130 East Randolph Street, Suite 3100
CHICAGO, IL 60601

MEP ENGINEER



**Southland
Industries**

33225 Western Ave.
Union City, CA 94587
510-477-3300

Southland

ROSENDIN

www.rosendin.com
2880 Mabury Road
San Jose, CA 95133
1.408.285.2800

Osland Office
2980 Orchard Way
San Jose, CA 95134
1.408.333.0200

STRUCTURAL ENGINEER

PEOPLES ASSOCIATES

STRUCTURAL ENGINEERS

408-957-6220
San Jose, California

www.pase.com
Pleasanton, California

CIVIL ENGINEER



1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
CULINARY ARCHITECTURE
PLANNING ARCHITECTURE
PARKS ARCHITECTURE

PROGRESS SET
NOT FOR CONSTRUCTION

D	ISSUED FOR PCC REVIEW	10-26-2021
C	ISSUED FOR PCC REVIEW	10-06-2021
No.	Description	Date

VANTAGE CA31

2590 WALSH AVENUE
SANTA CLARA, CA 95051
APN : 216-28-112

ISSUED FOR PCC REVIEW

EXTERIOR ELEVATIONS

A211.02

SCALE: AS NOTED

© 2019 SHEEHAN NAGLE HARTRAY ARCHITECTS, LTD.

6

5

4

3

2

1