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# LATHAM & WATKINS LLP

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November 26, 2007

File No. 030137-0012

### VIA FEDEX

CALIFORNIA ENERGY COMMISSION  
Attn: Docket No. 07-AFC-3  
1516 Ninth Street, MS-4  
Sacramento, California 95814-5512

<b>DOCKET</b>	
<b>07-AFC-3</b>	
<b>DATE</b>	NOV 26 2007
<b>RECD.</b>	NOV 26 2007

Re: CPV Sentinel Energy Project: Docket No. 07-AFC-3

Dear Sir/Madam:

Pursuant to California Code of Regulations, title 20, sections 1209, 1209.5, and 1210, enclosed herewith for filing please find a presentation entitled, "Public Use Permit Application, CPV Sentinel Energy Project."

Please note that the enclosed submittal was also filed today via electronic mail to your attention.

Very truly yours,



Paul E. Kihm  
Senior Paralegal

Enclosure

cc: Michael J. Carroll, Esq. (w/ encl.)



# Public Use Permit Application

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## CPV Sentinel Energy Project Riverside County, California

November 2007

**URS**

**COUNTY OF RIVERSIDE**  
**TRANSPORTATION AND LAND MANAGEMENT AGENCY**  
**Planning Department**  
*Ron Goldman · Planning Director*

**APPLICATION FOR LAND USE AND DEVELOPMENT**

CHECK ONE AS APPROPRIATE:

- PLOT PLAN                       CONDITIONAL USE PERMIT       TEMPORARY USE PERMIT  
 REVISED PERMIT               PUBLIC USE PERMIT               VARIANCE

*INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.*

CASE NUMBER: \_\_\_\_\_ DATE SUBMITTED: November 7, 2007

**APPLICATION INFORMATION**

Applicant's Name: Mark Turner E-Mail: mturner@cpv.com

Mailing Address: 55 Second Street, Suite 525  
\_\_\_\_\_  
San Francisco, CA 94105  
Street City State ZIP

Daytime Phone No: ( 415 ) 293-1463 Fax No: ( 415 ) 957-9886

Engineer/Representative's Name: Kathy Rushmore, URS (Rep) E-Mail: see below

Mailing Address: 221 Main, Suite 600 email: Kathy\_Rushmore@urscorp.com  
\_\_\_\_\_  
San Francisco, CA 94105  
Street City State ZIP

Daytime Phone No: ( \_\_\_\_\_ ) \_\_\_\_\_ Fax No: ( \_\_\_\_\_ ) \_\_\_\_\_

Property Owner's Name: Fred Noble E-Mail: fnoble@wintecenergy.com

Mailing Address: 1090 North Palm Canyon Drive, Suite A  
\_\_\_\_\_  
Palm Springs, CA 92262  
Street City State ZIP

Daytime Phone No: ( 760 ) 323-9420 Fax No: ( 760 ) 774-9160

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.



**APPLICATION FOR LAND USE AND DEVELOPMENT**

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Mark Turner

PRINTED NAME OF APPLICANT



SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Fred Noble (signature on letter of authorization)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 668-130-005, 668-130-007, 668-140-001

Section: 4 Township: 3 Range: 4

Approximate Gross Acreage: 37 acres

General location (nearby or cross streets): North of Dillon Road, South of Pierson Boulevard, East of State Route 62, West of Indian Avenue.

Thomas Brothers map, edition year, page number, and coordinates: \_\_\_\_\_



FREDERICK W. NOBLE  
President / CEO

November 1, 2007

Jay Olivas  
Riverside County Planning Department  
38686 El Cerrito Road  
Palm Desert, CA 92211

**Re: Letter of Authorization to Submit a Public Use Permit Application  
CPV Sentinel Energy Project**

Dear Mr. Olivas:

As owner of site for the proposed CPV Sentinel Energy Project (Assessor Parcel Numbers 668-130-005, -007, and 668-140-001), I hereby authorize CPV Sentinel LLC to submit a Public Use Permit application for the property. Feel free to contact me if you have any questions regarding this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "FW Noble", is written over the typed name.

Frederick W. Noble  
President/CEO

FWN/jdc

**APPLICATION FOR LAND USE AND DEVELOPMENT**

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

The CPV Sentinel Energy Project is a proposed 850 megawatt electrical generating facility. The site encompasses 37 acres and the proposed project consists of 8 natural gas-fired combustion turbine generators. Construction of the power plant would occur over an 18 month period (from December 2008 to May 2010).

Related cases filed in conjunction with this request:

None

Is there a previous development application filed on the same site: Yes  No

If yes, provide Case No(s). \_\_\_\_\_ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) \_\_\_\_\_ E.I.R. No. (if applicable): AFC 07-AFC-3

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes  No

If yes, indicate the type of report(s) and provide a copy: AFC 07-AFC-3, hard copy and CD are attached

Is water service available at the project site: Yes  No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) See AFC

Is sewer service available at the site? Yes  No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) See AFC

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes  No

How much grading is proposed for the project site?  
125,000

Estimated amount of cut = cubic yards: 125,000

Estimated amount of fill = cubic yards

Does the project need to import or export dirt? Yes  No

Import \_\_\_\_\_ Export \_\_\_\_\_ Neither \_\_\_\_\_

What is the anticipated source/destination of the import/export?

None

**APPLICATION FOR LAND USE AND DEVELOPMENT**

What is the anticipated route of travel for transport of the soil material?  
None

How many anticipated truckloads? None truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 1,594,296 sq. ft.

Is the development proposal located within 8½ miles of March Air Reserve Base? Yes  No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes  No

Does the development project area exceed more than one acre in area? Yes  No

If yes, in which one of the following watersheds is it located (refer to Riverside County GIS for watershed location)?

Check answer:

Santa Ana River       Santa Margarita River       San Jacinto River       Colorado River

**HAZARDOUS WASTE SITE DISCLOSURE STATEMENT**

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

- The project is not located on or near an identified hazardous waste site.
- The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) Kathy Rushmore Date 11/7/07  
Owner/Representative (2) \_\_\_\_\_ Date \_\_\_\_\_

**APPLICATION FOR LAND USE AND DEVELOPMENT**

**Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP)  
within the Santa Ana River Region**

<b>Project File No.</b>	
<b>Project Name:</b>	
<b>Project Location:</b>	
<b>Project Description</b>	

<b>Proposed Project Consists of or Includes:</b>	<b>Yes</b>	<b>No</b>
Significant Redevelopment: The addition or creation of 5,000 square feet or more of impervious surface on an existing developed site. This includes, but is not limited to, construction of additional buildings and/or structures, extension of the existing footprint of a building, construction of impervious or compacted soil parking lots. Does not include routine maintenance activities that are conducted to maintain original line and grade, hydraulic capacity, the original purpose of the constructed facility or emergency actions required to protect public health and safety.	<input type="checkbox"/>	<input type="checkbox"/>
Residential development of 10 dwelling units or more, including single family and multi-family dwelling units, condominiums, or apartments.	<input type="checkbox"/>	<input type="checkbox"/>
Industrial and commercial development where the land area <sup>1</sup> represented by the proposed map or permit is 100,000 square feet or more, including, but not limited to, non-residential developments such as hospitals, educational institutions, recreational facilities, mini-malls, hotels, office buildings, warehouses, light industrial, and heavy industrial facilities.	<input type="checkbox"/>	<input type="checkbox"/>
Automotive repair shops (Standard Industrial Classification (SIC) codes 5013, 7532, 7533, 7534, 7537, 7538, and 7539).	<input type="checkbox"/>	<input type="checkbox"/>
Restaurants (Standard Industrial Classification (SIC) code 5812) where the project site is 5,000 square feet or more.	<input type="checkbox"/>	<input type="checkbox"/>
Hillside development that creates 10,000 square feet or more, of impervious surface(s) including developments in areas with known erosive soil conditions or where natural slope is 25 percent or more.	<input type="checkbox"/>	<input type="checkbox"/>
Developments creating 2,500 square feet or more of impervious surface that is adjacent to (within 200 feet) or discharging directly into areas designated in the Basin Plan <sup>2</sup> as waters supporting habitats necessary for the survival and successful maintenance of plant or animal species designated under state or federal law are rare, threatened, or endangered species (denoted in the Basin Plan as the "RARE" beneficial use) or waterbodies listed on the CWA Section 303(d) list of Impaired Waterbodies <sup>3</sup> . "Discharging directly to" means Urban Runoff from subject Development or Redevelopment site flows directly into aforementioned waterbodies. Urban Runoff is considered a direct discharge unless it first flows through a) a municipal separate storm sewer system (MS4) that has been formally accepted by and is under control and operation of a municipal entity; b) a separate conveyance system where there is co-mingling of flows with off-site sources; or c) a tributary or segment of a water body that is not designated with "RARE" beneficial uses nor listed on the 303(d) list before reaching the water body or segment designated as RARE or 303(d) listed.	<input type="checkbox"/>	<input type="checkbox"/>
Parking lots of 5,000 square feet or more of impervious surface exposed to Urban Runoff, where "parking lot" is defined as a site or facility for the temporary storage of motor vehicles.	<input type="checkbox"/>	<input type="checkbox"/>

<sup>1</sup>Land area is based on acreage disturbed.

<sup>2</sup>The Basin Plan for the Santa Ana River Basin, which has beneficial uses for Receiving Waters listed in Chapter 3, can be viewed or downloaded from [www.swrcb.ca.gov/rwqcb8/pdf/R8BPlan.pdf](http://www.swrcb.ca.gov/rwqcb8/pdf/R8BPlan.pdf).

<sup>3</sup>The most recent CWA Section 303(d) list can be found at [www.swrcb.ca.gov/tmdl/303d\\_lists.html](http://www.swrcb.ca.gov/tmdl/303d_lists.html).

**DETERMINATION: Circle appropriate determination.**

If any question answered "YES" Project requires a project-specific WQMP.

If All questions answered "NO" Project requires incorporation of Site Design Best Management Practices (BMPs) and Source Control BMPs imposed through Conditions of Approval or permit conditions.



**APPLICATION FOR LAND USE AND DEVELOPMENT**

**Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP)  
within the Santa Margarita River Region**

<b>Project File No.</b>	
<b>Project Name:</b>	
<b>Project Location:</b>	
<b>Project Description</b>	

<b>Proposed Project Consists of or Includes:</b>	<b>Yes</b>	<b>No</b>
<b>Significant Redevelopment:</b> The addition, creation, or replacement of at least 5,000 square feet of impervious surfaces on an already developed site of a project category or location as listed below in this table. This includes, but is not limited to: the expansion of a building footprint or addition or replacement of a structure; structural development including an increase in gross floor area and/or exterior construction or remodeling; replacement of impervious surface that is not part of a routine maintenance activity; and land disturbing activities related with structural or impervious surfaces. [Note: Where redevelopment results in an increase of less than 50% of the impervious surfaces of a previously existing development, and the existing development was not subject to SUSMP requirements, the requirement for treatment control BMPs [MS4 Permit requirement F.2.b(3)], applies only to the addition, and not to the entire development.]	<input type="checkbox"/>	<input type="checkbox"/>
<b>Housing subdivisions of 10 or more dwelling units.</b> Includes single-family homes, multi-family homes, condominiums, and apartments.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Commercial development greater than 100,000 square feet.</b> Defined as any development on <u>private land</u> that is <u>not</u> for heavy industrial or residential uses where the land area for development is greater than 100,000 square feet. Includes, but is not limited to: hospitals; laboratories and other medical facilities; educational institutions; recreational facilities; municipal facilities; commercial nurseries; multi-apartment buildings; car wash facilities; mini-malls and other business complexes; shopping malls; hotels; office buildings; public warehouses; automotive dealerships; airfields; and other light industrial facilities.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Automotive repair shops.</b> Includes facilities characterized by any one of the following Standard Industrial Classification (SIC) codes: 5013, 5014, 5541, 7532, 7533, 7534, 7536, 7537, 7538, or 7539.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Restaurants.</b> A facility that sells prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC code 5812), where the land area for development is greater than 5,000 square feet. Restaurants where land development is less than 5,000 square feet shall meet all SUSMP requirements except for treatment control BMPs [MS4 Permit requirement F.2.b(3)] and peak flow management [MS4 Permit requirement F.2.b(2)(a)].	<input type="checkbox"/>	<input type="checkbox"/>
<b>All Hillside development greater than 5,000 square feet.</b> Any development that creates greater than 5,000 square feet of impervious surface which is located in an area with known erosive soil conditions, where the development will include grading on any natural slope that is 25% or greater.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Environmentally Sensitive Areas (ESAs)<sup>1</sup>.</b> All development located within or directly adjacent to or discharging directly to an ESA (where discharges from the development or redevelopment will enter receiving waters within the ESA), which either creates 2,500 square feet of impervious surface on a proposed project site or increases the area of imperviousness of a proposed project site to 10% or more of its naturally occurring condition. "Directly adjacent" means situated within 200 feet of the ESA. "Discharging directly to" means outflow from a drainage conveyance system that is composed entirely of flows from the subject development or redevelopment site, and not commingled with flows from adjacent lands.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Parking lots of 5,000 square feet or more.</b> A land area or facility for the temporary parking or storage of motor vehicles used personally for business or commerce.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Streets, roads, highways, and freeways.</b> Includes any paved surface that is 5,000 square feet or greater used for the transportation of automobiles, trucks, motorcycles, and other vehicles.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Retail Gasoline Outlets (RGOs).</b> Includes RGOs that meet the following criteria: (a) 5,000 square feet or more, or (b) a projected Average Daily Traffic (ADT) of 100 or more vehicles.	<input type="checkbox"/>	<input type="checkbox"/>

<sup>1</sup>Areas "in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which would easily be disturbed or degraded by human activities and developments. ESAs subject to urban runoff requirements include, but are not limited to: all CWA Section 303(d) impaired water bodies; areas designated as Areas of Special Biological Significance by the Basin Plan; water bodies designated with a RARE beneficial use in the Basin Plan; areas within the Western Riverside County Multiple Species Habitat Conservation Plan area that contain rare or especially valuable plant or animal life or their habitat; and any other equivalent environmentally sensitive areas that the Permittees have identified. The Basin Plan for the San Diego Basin (beneficial uses listed in Chapter 2) can be viewed or downloaded from [www.swrcb.ca.gov/rwqcb9/programs/basinplan.html](http://www.swrcb.ca.gov/rwqcb9/programs/basinplan.html). The most recent CWA Section 303(d) list can be found at [www.swrcb.ca.gov/tmdl/303d\\_lists.html](http://www.swrcb.ca.gov/tmdl/303d_lists.html).

**DETERMINATION: Circle appropriate determination.**

If any question answered "YES" Project requires a project-specific WQMP.

If All questions answered "NO" Project requires incorporation of Site Design Best Management Practices (BMPs) and Source Control BMPs imposed through Conditions of Approval or permit conditions.

## **APPLICATION FOR LAND USE AND DEVELOPMENT**

### **NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS**

In 1987, Congress amended the Clean Water Act to require the permitting of stormwater discharges from municipal storm drain systems. The Riverside County Board of Supervisors adopted Riverside County Ordinance No. 754.1 establishing stormwater/urban runoff management and discharge controls to protect and enhance the water quality of Riverside County watercourses, water bodies, groundwater, and wetlands in a manner pursuant to and consistent with the Federal Clean Water Act.

Preventing pollution is much easier, and less costly than cleaning up polluted stormwater. Runoff from construction and grading sites can carry sediments and other pollutants into storm drains. Also, a developed site can contribute damaging new pollutants to the surrounding environment. A variety of "best management practices" (BMPs) can be used to prevent different types of stormwater pollution. Construction-related water quality impacts shall be addressed in accordance with County Ordinances, and shall comply with the Regional Water Quality Control Board Construction Permit, where applicable. New developments and redevelopments within the Santa Ana and Santa Margarita watershed regions of Riverside County must mitigate their post construction water quality impacts by complying with Section 6 of the Riverside County Drainage Area Management Plan (DAMP). Some development and redevelopment projects may be required to submit a project-specific WQMP in compliance with Section 6 of the DAMP. Projects within the Whitewater watershed may refer to Supplement A (of the Riverside County DAMPs) and the Supplement A Attachment. These documents are available on-line at:

[http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/WQMP complete.pdf](http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/WQMP%20complete.pdf)  
and,

[http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/WQMP Template Exhibit A-Word Format.doc](http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/WQMP%20Template%20Exhibit%20A-Word%20Format.doc)

[http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/Supplement\\_A.pdf](http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/Supplement_A.pdf)

[http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/Supplement\\_A\\_Attachment.pdf](http://www.floodcontrol.co.riverside.ca.us/districtsite/downloads/NPDES/Supplement_A_Attachment.pdf)

Noncompliance with Riverside County Ordinance 754.1 may result in the imposition of substantial penalties by the local Regional Water Quality Control Board.

## **APPLICATION FOR LAND USE AND DEVELOPMENT**

### **FILING INSTRUCTIONS FOR LAND USE APPLICATION**

The following instructions are intended to provide the necessary information and procedures to facilitate the processing of a Land Use application. Your cooperation with these instructions will insure that your application can be processed in the most expeditious manner possible.

#### **THE LAND USE AND DEVELOPMENT FILING PACKAGE MUST CONSIST OF THE FOLLOWING:**

1. One completed and signed application form.
2. One copy of the current legal description for each property involved as recorded in the Office of the County Recorder. A copy of a grant deed of each property involved will suffice.
3. If any of the properties involved do not abut a public street, a copy of appropriate documentation of legal access (e.g. recorded easement) for said property shall be provided.
4. Thirty-five (35) copies (40 if submitted at the Palm Desert Planning Office) of Exhibit "A" (Site Plan). The exhibit must also include the information described in the applicable application type column of the Land Use and Development Matrix. All exhibits must be folded no larger than 8½" x 14."
5. If any buildings or structures exist and are to remain, or are proposed, a minimum of six (6) copies (9 if submitted at the Palm Desert Planning Office) of building floor plans (Exhibit "C") and elevations (Exhibit "B"). The exhibits shall also include the information described in items 1 through 7 of the Land Use and Development Matrix. All exhibits must be folded no larger than 8½" x 14."
6. One (1) recent (less than one-year old) aerial photograph of the entire Project Site with the boundary of the site delineated.
7. Two 8½" x 11" photocopies of a U. S. Geological Survey Quadrangle Map delineating the Site boundaries (Note: each photocopy must not have been enlarged or reduced, have a North arrow, scale, quadrangle name, and Section/Township/Range location of the site.)
8. A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
9. Digital images of the aerial photograph, Exhibit A (Site Plan), Exhibit B (Building Elevations) & Exhibit C (Building Floor Plans), the U.S.G.S. Map, and the panoramic photographs of the site in a format acceptable to the Planning Department (e.g. TIFF, GIF, JPEG, PDF)
10. If determined by the completed WQMP Checklist for either the Santa Ana River or Santa Margarita River region to be required, two (2) completed copies of the Project Specific Preliminary WQMP.
11. Deposit-based fees for the applicable application type or types, and Environmental Assessment (EA) deposit-based fee. EA fee required if noted on the Planning Department's Fee Schedule,

## **APPLICATION FOR LAND USE AND DEVELOPMENT**

unless otherwise determined.

### **THE FOLLOWING *ADDITIONAL* ITEMS, OR MODIFICATIONS, OR DELETIONS ARE APPLICABLE FOR THE FOLLOWING APPLICATION "TYPES"**

#### **VARIANCE**

A written statement of the specific provisions of County Ordinance No. 348 for which the variance is requested and the variance that is requested.

#### **TEMPORARY USE PERMIT**

If the proposed Temporary Use Permit is not to exceed a 6-month period, an Environmental Assessment Deposit-Based Fee, will not be required.

#### **PLOT PLAN**

If the proposed Plot Plan is for a "**Disguised Wireless Communication Facility**" and is located in a non-residential zoning classification, as described in Section 19.404 of County Ordinance No. 348, an Environmental Assessment Deposit-Based Fee, will not be required at the time of case submittal. However, if during the review process, a request for a public hearing were received, the application would be reclassified as a plot plan that is subject to CEQA.

That would necessitate the payment of additional fees (the difference between the filing fees for an "Exempt from CEQA/Agency Review" plot plan and a "Not Exempt from CEQA" plot plan) for the plot plan, a deposit-based fee for an Environmental Assessment, and the collection of fees for CEQA Notification/Fish and Game Fees.

Please identify, within the project description, what type of wireless communication facility is being proposed.

The Site Plan exhibits must be prepared by a California licensed land surveyor or registered civil engineer, and must show all of the required items listed in Section 19.409 of County Ordinance No. 348; as well as those listed items (within the applicable case type column) as identified on the Land Use and Development Matrix.

The following information, as required by the Riverside County Information Technology/ Communications Bureau/Engineering Division's Site Planning Criteria, shall be provided either on the site plan exhibit(s), or under separate attachment:

1. Identify specific Frequencies to be licensed with the Federal Communications Commission (FCC).
2. Identify aggregate sector Effective Radiated Power (ERP) to be licensed.
3. Identify Antenna(s) model/ gain; Height Above Ground (AGL).
4. Identify site Coordinates (Latitude/Longitude) in NAD83; site Above Mean Sea Level (AMSL).

## **APPLICATION FOR LAND USE AND DEVELOPMENT**

5. Provide the Radio Frequency (RF) field strength intensity in terms of dbm/dbu (standard power parameters), and minimum power level required to achieve desired level of reliability for RF coverage.
6. Provide RF propagation coverage maps with legend depicting field strength intensity specifications in dbm/dbu, coordinates, main thoroughfares/key landmarks. Ensure USER FRIENDLY maps that enhance understanding by the Planning Commission and Planning Department.
7. Provide three sets of RF propagation maps; one which depicts the respective problem area without the proposed new site. Secondly, depict solely the desired coverage area with the new site operational. Finally, depict the composite cell with the new site operational.
8. Certify that alternative sites/antenna structure specifications in the respective cell have been considered and will not satisfy your requirements. Be prepared to provide RF propagation maps to justify your conclusions.
9. Conduct RF intermodulation/interference studies for facilities within 2,500 feet or co-located with County Public Safety radio communications sites. Carriers operating in the 800 MHz Band will acknowledge that their respective applications will be conditioned to require mitigation of any RF interference impacting County Public Safety radio communications.
10. Certify Federal Aviation Administration (FAA) Studies and FCC tower registration completion for sites in close proximity to County airports.
11. Certify that RF Radiation Emission Hazard Safety Studies have been completed to comply with FCC licensing directives.

Additional requirements are as follows:

1. Three (3) copies of propagation diagrams showing the existing network coverage within one (1) mile of the site and the proposed coverage based upon the proposed facility at the proposed height.
2. Three (3) copies of photo simulations showing the proposed facility from all public roads and all residential developments within a ½ mile radius of the site.
3. A letter stating whether Federal Aviation Administration (FAA) clearance is required. If FAA clearance is required, a letter stating the type of lighting necessary and the tower color.
4. A fully executed copy of the lease or other agreement entered into with the owner of the underlying property, in accordance with Section 19.409.a.(7) of County Ordinance No. 348.
5. A list of all towers owned by the applicant located within Riverside County, in accordance with Section 19.409.a.(8) of County Ordinance No. 348.
6. Any proposed wireless communication facility located within an Alquist-Priolo Earthquake Fault Hazard Zone, County Fault Zone, or within one hundred fifty (150) feet of any other active or potentially active fault, shall submit a detailed fault hazard evaluation prepared by a California registered geologist or certified engineering geologist.



## **APPLICATION FOR LAND USE AND DEVELOPMENT**

7. Any proposed wireless communication towers located within a County Liquefaction Zone shall submit a detailed liquefaction hazard evaluation prepared by a California registered geologist, certified engineering geologist, or qualified professional engineer, as appropriate.
8. The proposed Wireless Communication Facility must be designed to comply with Section 19.410 of County Ordinance No. 348, as it relates to the following applicable development standards:
  - A. Area Disturbance
  - B. Height Limitations
  - C. Community and Biological Impacts
  - D. Landscaping
  - E. Lighting
  - F. Noise
  - G. Parking
  - H. Paved Access
  - I. Power and Communications Lines
  - J. Roof-Mounted Facilities
  - K. Sensitive Viewshed
  - L. Setbacks
  - M. Support Facilities
  - N. Treatment
9. Current processing deposit-based fee.

Concealed wireless communication facilities are defined as facilities that blend into the environment so as not to be seen at all, or, if seen, not to be recognizable as a wireless communication facility. Such facilities include, but are not limited to, architecturally screened roof-mounted facilities, façade-mounted design features, clock tower facilities and entry statement signage facilities. The Planning Director shall make the final determination as to whether a proposed wireless communication facility constitutes a concealed wireless communication facility.

Concealed Wireless Communication Facilities are allowed in any zoning classification with an approved plot plan that is not subject to the California Environmental Quality Act (CEQA) and that is not transmitted to any governmental agency other than the County Planning Department (as known as a Minor Plot Plan.) No public hearing will be required for applications of this type, unless the action is appealed.

An application for a wireless communication facility shall not be approved unless: 1) the facility is designed so that it is not visible at all, or, if visible, it is not recognizable as a wireless communication facility, 2) supporting equipment is located entirely within an equipment enclosure that is architecturally compatible with the surrounding area or is screened from view, 3) the application has met the processing requirements, as well as the location and development standards, set forth in Article XIXg (Wireless Communication Facilities) of County Ordinance No. 348; and, 4) the application has met the Requirements for Approval set forth in Section 18.30 of County Ordinance No. 348.

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The following is the minimum information required on the site plan exhibit. The information below consists of detailed descriptions of information required on primary exhibits, as indicated on the Land Use and Development Matrix.

### **SPOT ELEVATIONS**

Spot elevations (proposed finished elevations) sufficient to demonstrate that streets, driveways, parking lots, and drainage grades meet minimum requirements. Spot elevations may be necessary at street intersections, ends, and cul-de-sacs; beginning and end of all driveways, parking lot outer limits, entrance and end points, and at all grade breaks.

## **APPLICATION FOR LAND USE AND DEVELOPMENT**

### **CONSTRAINED AREA**

Constrained areas may include, but are not limited to, the following resources and hazards: Slopes in excess of 25%, biologically sensitive areas, archaeologically sensitive areas, flood hazard areas, ridgelines, hilltops, and geologically hazardous areas. Within constrained areas, proposed pad locations and driveways must be shown.

### **SITE GRADING, SUBSURFACE DISPOSAL REQUIREMENTS**

When subsurface disposal is proposed, include and identify the primary sewage disposal system and its 100% expansion area. Identify any proposed cuts and/or fills in the areas of the sewage disposal systems, the elevation of the individual building pads such that there will be gravity feed to the sewage disposal system, and statement signed and with seal, as to the appropriateness of the grading plan with regard to the soils percolation engineer's report. Said statement may be attached to the grading plan or placed upon a blue line copy of the grading plan.

### **DRAINAGE PLAN**

The Primary Exhibit shall include a conceptual drainage plan showing how all on-site and off-site stormwater will be conveyed through the property. The exhibit shall clearly label points of concentration where flows enter or exit the site and indicate the amount of runoff (cubic feet per second - CFS) and the tributary drainage area (acres) at these points. The drainage plan shall acknowledge offsite construction required to collect flows and to discharge them to an adequate outlet. The exhibit shall also clearly label all watercourses, channels, culverts, brow ditches, or other flood control facilities passing through the site and indicate whether they are proposed or existing. Additionally, all facilities shall be labeled with name, owner, maintenance entity, capacity, grades, and dimensions. All easements or rights of way shall be shown and their widths indicated. Where calculated flow rates or hydraulic capacities are supplied or where flood control facilities are proposed, the exhibit shall be signed and sealed by a registered civil engineer.

In cases where it is not feasible to show the required detail on the exhibit or where offsite improvements or analysis are required, the applicant may submit two (2) copies of a drainage report as a supplement to the exhibit.

### **WATER QUALITY MANAGEMENT PLAN (WQMP)**

The Santa Ana Region and San Diego Region Regional Water Quality Control Boards have adopted Board Orders R8-2002-0011 and R9-2004-001, respectively, in compliance with the federal National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer System (MS4) Clean Water Act requirements. These Board Orders regulate the discharge of pollutants from the County's MS4, and require the County to implement measures to mitigate the water quality impacts of new developments within its jurisdiction. In compliance with these Board Orders, and beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: <http://www.floodcontrol.co.riverside.ca.us/waterqualitynpdes.asp>

**APPLICATION FOR LAND USE AND DEVELOPMENT**

To comply with the WQMP, a developer must submit a "Project Specific" WQMP. This report is intended to, a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (Best Management Practices - BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as an appendix to the WQMP.

Projects requiring Project Specific WQMPs will also need to include a PRELIMINARY Project Specific WQMP along with the subdivision application package. The format of the PRELIMINARY report would mimic the format/template of the final report but would be at a much lesser level of detail. For example, points a, b & c above would be covered, rough calculations supporting sizing would be included, and footprint/locations for the BMPs would be identified on the tentative exhibit. Detailed drawings will not be required.

**FLOOR PLANS AND ELEVATIONS**

All floor plans and elevation exhibits shall include the information listed on items 1 through 7 of the Land Use Application Matrix. In addition, architectural elevations shall include scaled drawings of all sides of all buildings with dimensions indicating proposed and existing heights, and any proposed or existing wall signs, HVAC equipment, solar equipment or other equipment mounted on exterior walls or roof. A Conceptual Sign Program can be presented on the building architectural elevations or as a separate exhibit. No landscaping, figures, or other presentation decorations shall be illustrated on the building elevations.

If you have any questions concerning your application, please contact the Planning Department at the appropriate office listed on the front of this application.

The following table lists the minimum information required on the site plan exhibit. IF ANY REQUIRED INFORMATION IS NOT APPLICABLE TO A SPECIFIC PROJECT, AN EXPLANATORY NOTE MUST BE PLACED ON THE EXHIBIT NEXT TO THE AMENDMENT BLOCK, EXPLAINING WHY THE INFORMATION IS NOT NECESSARY. All exhibits must be clearly drawn and legible. NOTE: Additional information may be required during review of the proposed land use application, including information not specifically required by this checklist.

<b>C U P</b>	<b>C U M H R V</b>	<b>P P</b>	<b>P U P</b>	<b>T U P</b>	<b>V A R</b>	<b>CUP = Conditional Use Permit PP = Plot Plan TUP = Temporary Use Permit</b>	<b>CUMHRV = Conditional-Use Mobile Home/RV PUP = Public Use Permit VAR = Variance</b>
<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	1. Name, Address, and telephone number of applicant.	
<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	2. Name, address, and telephone number of land owner.	
<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	3. Name, address, and telephone number of exhibit preparer.	
<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	4. Assessor's Parcel Numbers and, if available, address of the property.	
<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	5. Scale (number of feet per inch) Use Engineer's Scale for all maps/exhibits. Architect's scale is only acceptable for floor plans, elevations, and landscape plans.	

**APPLICATION FOR LAND USE AND DEVELOPMENT**

C U P	C U M H R V	P P	P U P	T U P	V A R	<b>CUP = Conditional Use Permit</b> <b>PP = Plot Plan</b> <b>TUP = Temporary Use Permit</b> <b>CUMHRV = Conditional-Use Mobile Home/RV</b> <b>PUP = Public Use Permit</b> <b>VAR = Variance</b>
X	X	X	X	X	X	6. North arrow.
X	X	X	X	X	X	7. Date Exhibit Prepared.
X	X	X	X	X	X	8. Title of Exhibit (i.e. "Change of Zone", "Plot Plan for landscaping", etc.).
X	X	X	X	X	X	9. A detailed project description, including proposed and existing buildings, structures and uses.
X	X	X	X	X	X	10. Complete legal description of property.
X	X		X	X	X	11. Overall dimensions and total net and gross acreage of property.
X	X	X	X	X	X	12. Vicinity map, showing site relationship to major highways and cities, and two access roads. (Proposed and existing paved roads will be indicated by heavy lines or noted as paved.)
X	X	X	X	X	X	13. Exhibit Revision block
X	X	X	X	X	X	14. Thomas Brothers map page and coordinates. (Identify edition year used)
	X					15. Proposed boundary lines and approximate dimensions for each space or site.
	X					16. Net size, for each space or site.
X	X					17. Numbered mobilehome or recreational vehicle spaces, dwelling units, or lots, and the total number of each type or space, unit, or lot.
X	X	X	X	X	X	18. Location of adjoining property and lot lines.
X	X	X	X	X	X	19. Existing and proposed zoning and land use of property.
X	X	X	X	X	X	20. Existing use and zoning of property immediately surrounding subject property.
X	X	X	X	X	X	21. If project is within a Specific Plan, indicate the Specific Plan Planning Area number and the land use designation of subject property and all surrounding property.
X	X	X	X	X	X	22. Names of utility purveyors and school district(s) including providers of water, sewer, gas, electricity, telephone, and cable television.
X	X	X	X	X	X	23. Location, widths, and improvements of existing and proposed public utility, easements, transmission lines, power and telephone poles, and underground utilities on or abutting the property.
X	X	X	X	X	X	24. Names, locations, rights-of-way widths, and improvements of adjacent existing and proposed streets and the approximate grades of proposed and existing streets and approximate street centerline radii of curbs. If private streets are proposed, they shall be so noted on the tentative map.
X	X	X	X	X	X	25. List and accurately show all easements of record (by map or instrument number).
X	X		X	X	X	26. Streets, alleys, and rights-of-way providing legal access to the property.
X	X		X	X	X	27. If project is within a Community Services District, identify the district.
X	X		X			28. Typical street improvement cross-sections.
X	X	X	X	X	X	29. Label and describe any land or rights-of-way to be dedicated to public or other uses.

**APPLICATION FOR LAND USE AND DEVELOPMENT**

CUP	CUMHRV	PP	PUP	TUP	VAR	CUP = Conditional Use Permit PP = Plot Plan TUP = Temporary Use Permit	CUMHRV = Conditional-Use Mobile Home/RV PUP = Public Use Permit VAR = Variance
X	X	X	X	X		30. Existing topography of the property, with the source(s) of the contour lines identified. The contour lines shall extent 300 feet beyond the exterior boundaries of the subject property when adjacent property is unimproved or vacant. When adjacent property is improved or not vacant, contour lines shall extend beyond the exterior boundaries of the subject property a distance sufficient to determine compatibility with adjacent property. Maximum contour interval should be five feet. Flood Control District and Transportation Department base maps are acceptable sources of information. Topography from U.S.G.S. maps may be used only when more detailed information is not available. Additional topography may be required if deemed necessary.	
X	X	X	X	X		31. Preliminary grading including all cut/fill, slopes to scale with setbacks from structures and property lines, the elevations of all individual building pads, the elevations at the perimeter of the subject property, conceptual drainage facilities (including the location of terraces, terrace drains, down drains, brow ditches, V-ditches, and lot to lot drainage facilities), existing topography, and the relationship to adjoining land and development, and any existing grading.	
X	X	X	X	X	X	32. Spot elevations. (See detailed description on Page 11)	
X	X	X	X	X	X	33. When subsurface septic sewage disposal is intended, include the information described on Page 12 under "Site Grading, Subsurface Disposal".	
X	X	X	X	X	X	34. Note whether or not land is subject to liquefaction or other geologic hazard, or is within a Special Studies Zone.	
X	X	X	X	X	X	35. Note whether or not land is subject to overflow, inundation, or flood hazard.	
X	X	X	X	X	X	36. FEMA mapped floodplains and floodways including zone designation.	
X	X	X	X	X	X	37. Drainage plan. (See description on Page 12.)	
X	X	X	X		X	38. Centerline curve radii and typical sections of all open channels	
X	X	X	X			39. Table indicating area and density calculations with percentage breakdowns, including total area involved, total building area divided by uses, (if applicable), total parking or paved area, total landscaped area, total recreation, and/or open space area. Identify proposed parking spaces.	
X	X	X				40. Labeled common areas, open space, and recreational areas, with location, dimensions, acreage, any known proposed uses, and name of proposed owner(s) or entity(ies) who will maintain these areas.	
X	X	X	X	X	X	41. Location, dimensions, setbacks, and nature of proposed and existing, fences, gates, walls, free standing signs, driveways, turnout and/or turnarounds and curbs, drainage structures, and above and below ground structures, including septic subsurface sewage disposal systems.	
X	X	X	X	X		42. Location, dimensions, arrangement, and numbering of parking spaces for existing and/or proposed parking, loading and unloading facilities, identifying handicapped and compact parking spaces.	
X	X	X	X	X	X	43. Location and dimensions of existing and proposed ingress and egress, and methods of vehicular circulation.	
X	X	X	X	X	X	44. Location and dimensions of existing dwellings, buildings or other structures, labeled as existing and indicating whether they are to remain or be removed.	



## APPLICATION FOR LAND USE AND DEVELOPMENT

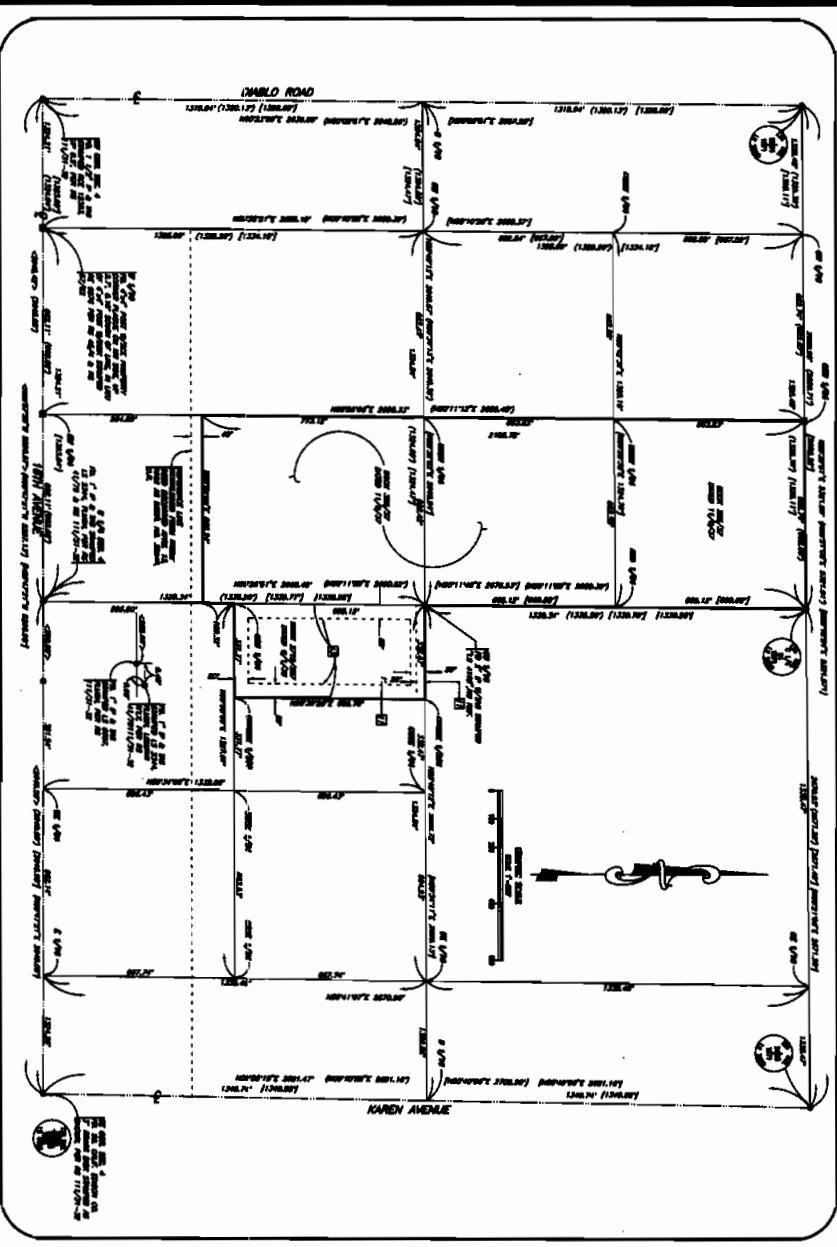
C U P	C U M H R V	P P	P U P	T U P	V A R	
						<b>CUP</b> = Conditional Use Permit <b>CUMHRV</b> = Conditional-Use Mobile Home/RV <b>PP</b> = Plot Plan <b>PUP</b> = Public Use Permit <b>TUP</b> = Temporary Use Permit <b>VAR</b> = Variance
X	X	X	X	X	X	45. Location, dimensions, and height of proposed dwellings, buildings, or other structures, labeled as proposed.
X	X	X	X	X	X	46. Setback dimensions of existing structures and paved areas.
X	X	X	X	X	X	47. Setback dimensions of proposed structures and paved areas.
X	X	X	X	X		48. Labeled landscaped areas with dimensions and spacing of proposed planters.
X	X	X	X	X		49. Location and amount of flammable/combustible liquids and waste oil both above and below ground.
X		X	X			50. Dimensioned elevations, including details of proposed materials for elevations, type of construction and occupancy classification per the current County adopted Uniform Building Code and floor plans for each building. (Attach to site plan). See Page 13 for detailed floor plans.
X		X	X			51. Square footage calculations per floor and total for each building shown, and per dwelling unit, as applicable.
	X	X	X	X		52. Irrigation and landscaping plans, including size, plant species, spacing proposed, planters and irrigation systems. (Attach to site plan, or note that said plans will be deferred to a later time.)
X	X	X	X			53. To show compliance with the County's Water Quality Management Plan, water quality features or a note describing the site's water quality features shall be shown.

Additional copies of this application may be obtained from the Planning Department's Web Page at <http://www.tlrma.co.riverside.ca.us/planning/documents/2951010.pdf>

# Land Title Survey

# A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

## COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



**EXPLANATION**

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

2. ALL BEARINGS ARE TRUE BEARINGS.

3. ALL CORNERS ARE TO BE MARKED WITH IRON PIPES OR IRON BOLTS.

4. ALL EASEMENTS ARE TO BE MARKED WITH IRON PIPES OR IRON BOLTS.

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### REMARKS

1. THIS SURVEY WAS MADE BY THE SURVEYOR ON THE 15th DAY OF APRIL, 1954.

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CHICAGO TITLE COMPANY  
TITLE INSURANCE AND INVESTMENT

NOVEMBER 2, 1954

### SHEET 1 OF 2 SHEETS

**EXPLANATION**

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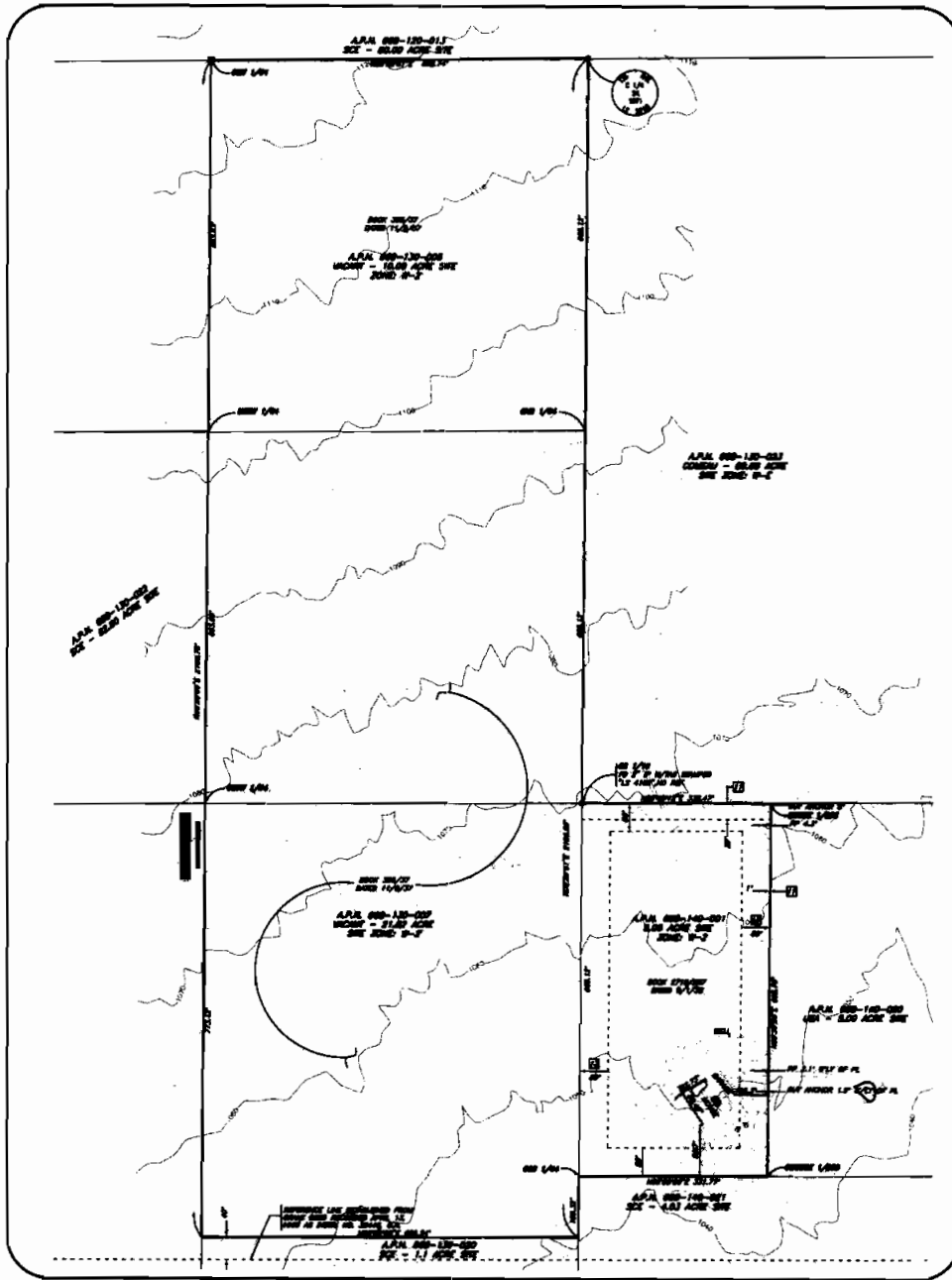
QUINCY CONCRETE  
MORTAR REPAIR, LTD.  
A CALIFORNIA CORPORATION  
B. B. & L. LAND CO.  
A BEAUMONT UNITED LIGHTS COMPANY  
ONE ONE NINE  
ONE ONE NINE  
SHERBORN, IN 5011

SHERRILL & SONS  
2525 17TH AVENUE  
MOUNTAIN VIEW, CALIF. 92650  
SHERRILL & SONS

# A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

A.L.T.A. SURVEY - 2018/10/10



**AIR SURVEY**  
 THE SYMBOL LEGEND SHOWS STANDARD SYMBOLS PROVIDED BY AIR SURVEY. NOT ALL SYMBOLS SHOWN APPLICABLE TO PROJECT SHOWN.

**LEGEND NOTE**  
 THE SYMBOL LEGEND SHOWS STANDARD SYMBOLS PROVIDED BY AIR SURVEY. NOT ALL SYMBOLS SHOWN APPLICABLE TO PROJECT SHOWN.

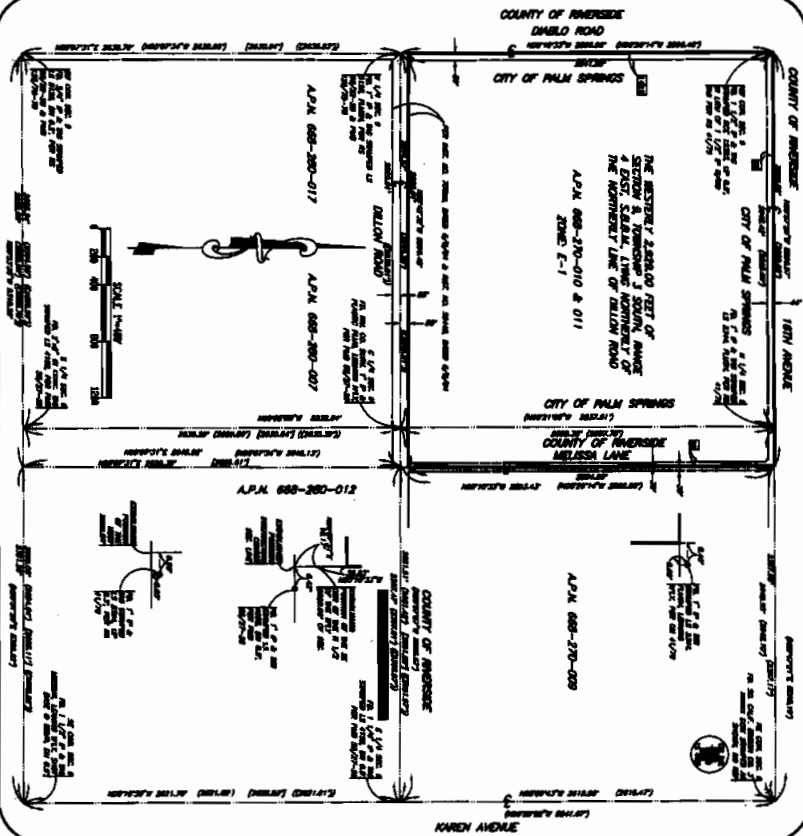
**CHICAGO TITLE COMPANY**  
 TITLE REPORT NO. 607004668-076  
 NOVEMBER 2, 2008

**BOUNDARY/MAP PREPARED:**  
 STANTIC CONSULTING INC.  
 72-221 192D WARDING DRIVE  
 SUITE 100  
 PALM DESERT, CA 92260  
 760.340.9344

SYMBOL LEGEND			
* Airport Runway Light	● Drain Inlet	⊕ Fuel Line Marker	⊙ Mail Manhole-Unidentified
⊕ Airport Navigation Aid	⊖ Drain Inlet-Circular	⊕ Fuel Valve	⊙ Meter-Unidentified
⊕ Airport Obstruction Spot	⊖ Cleat	⊕ Gas Line Marker	⊙ Miscellaneous Pole
⊕ Airport Symbol-Miscellaneous	⊖ Control-Horizontal Photo	⊕ Gas Manhole	⊙ Monitoring Well
⊕ Antenna	⊖ Control-Vertical Photo	⊕ Gas Meter	⊙ Monument
⊕ Bench Mark	⊖ Culvert Headwall	⊕ Gas Valve	⊙ Navigation Aid
⊕ Bollard	⊖ Culvert Pipe	⊕ Gas Well	⊙ Navigation Aid-Lighted
⊕ Boundary Marker	⊖ Dolphin	⊕ Golf Course Symbol-Miscell.	⊙ Parking Meter
⊕ Bush	⊖ Electric Box	⊕ Grate	⊙ Post
⊕ Cable Marker (Text indicates type)	⊖ Electric Manhole	⊕ Guy Pole	⊙ Property Corner
⊕ Capstan	⊖ Electric Meter	⊕ HVAC Unit	⊙ Railroad Signal
⊕ Catch Basin (Depicted as built)	⊖ Fill Cap	⊕ Hydrant	⊙ Railroad Switch Box
	⊖ Flag Pole	⊕ Lamp	
	⊖ Fuel Line Marker	⊕ Light Pole	
			⊙ Sanitary Sewer Manhole
			⊙ Satellite Dish
			⊙ Sign
			⊙ Spot Elevation
			⊙ Steam Cover
			⊙ Steam Manhole
			⊙ Steam Valve
			⊙ Storm Drain Manhole
			⊙ Swamp / Marsh
			⊙ Telephone
			⊙ Telephone Manhole
			⊙ Telephone Pedestal
			⊙ Transmission Pole
			⊙ Transmission Tower
			⊙ Traffic Signal Box
			⊙ Traffic Signal
			⊙ Tree
			⊙ Unidentified Object
			⊙ Utility Pole
			⊙ Valve-Unidentified
			⊙ Vent Pipe
			⊙ Water Manhole
			⊙ Water Meter
			⊙ Water Top
			⊙ Water Well

# A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

## CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



1. THE TOTAL AREA OF THIS SURVEY IS 11.3200 ACRES, BEING THE SUM OF THE AREAS OF THE SEVERAL LOTS SHOWN HEREON.
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**SHEET 1 OF 2 SHEETS**

**CERTIFICATION**

I, **ALBERT T. ALBERT**, Surveyor, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the owner of the land surveyed, and that the same is in accordance with the laws of the State of California.

Dated: **12/27/2019**

**ALBERT T. ALBERT**  
Surveyor

**STANDARD NOTICES**

This survey was made in accordance with the laws of the State of California, and the rules and regulations of the State Board of Surveyors. The survey was made by the use of the most accurate instruments and methods available, and the same is in accordance with the laws of the State of California.

The survey was made on the **12th** day of **December**, 2019, at **Palm Springs, California**.

The survey was made by **Albert T. Albert**, Surveyor, who is duly licensed and qualified by the State Board of Surveyors.

The survey was made for the purpose of **dividing the land into several lots**, and the same is in accordance with the laws of the State of California.

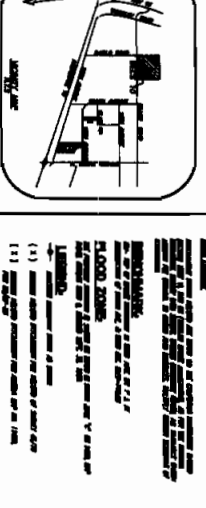
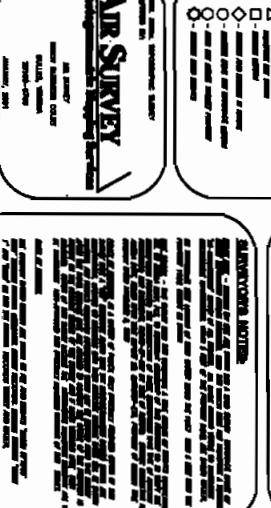
The survey was made in accordance with the laws of the State of California, and the rules and regulations of the State Board of Surveyors.

The survey was made by the use of the most accurate instruments and methods available, and the same is in accordance with the laws of the State of California.

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The survey was made for the purpose of **dividing the land into several lots**, and the same is in accordance with the laws of the State of California.



**CHICAGO TITLE COMPANY**  
TITLE REPORT NO. 192699-275  
NOVEMBER 8, 2009

**REVISION BLOCK**

NO.	DATE	DESCRIPTION

**CLIENT'S COMMENTS**

**D.A. LAND CO., LTD.**  
A DELAWARE LIMITED LIABILITY COMPANY

C/O: **MARK HUBER**  
5750 CALIFORNIA BOULEVARD, SUITE 410  
DENVILLE, MD 20750

**ENGINEER/PLANNING DEPARTMENT**

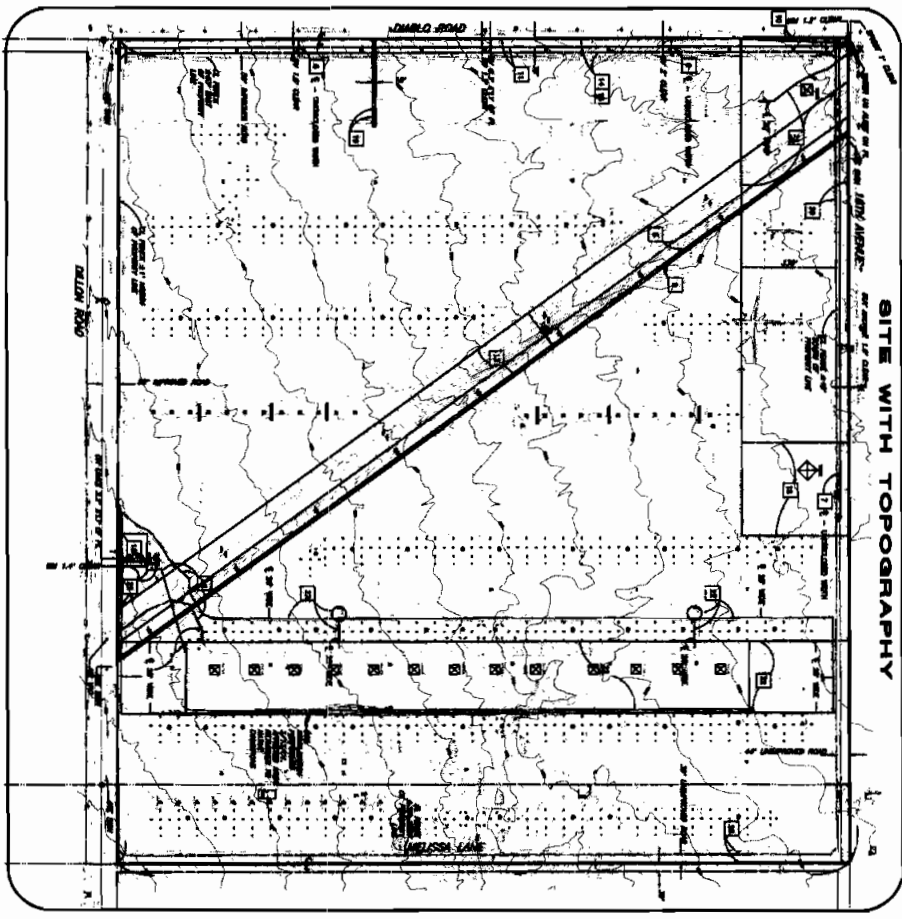
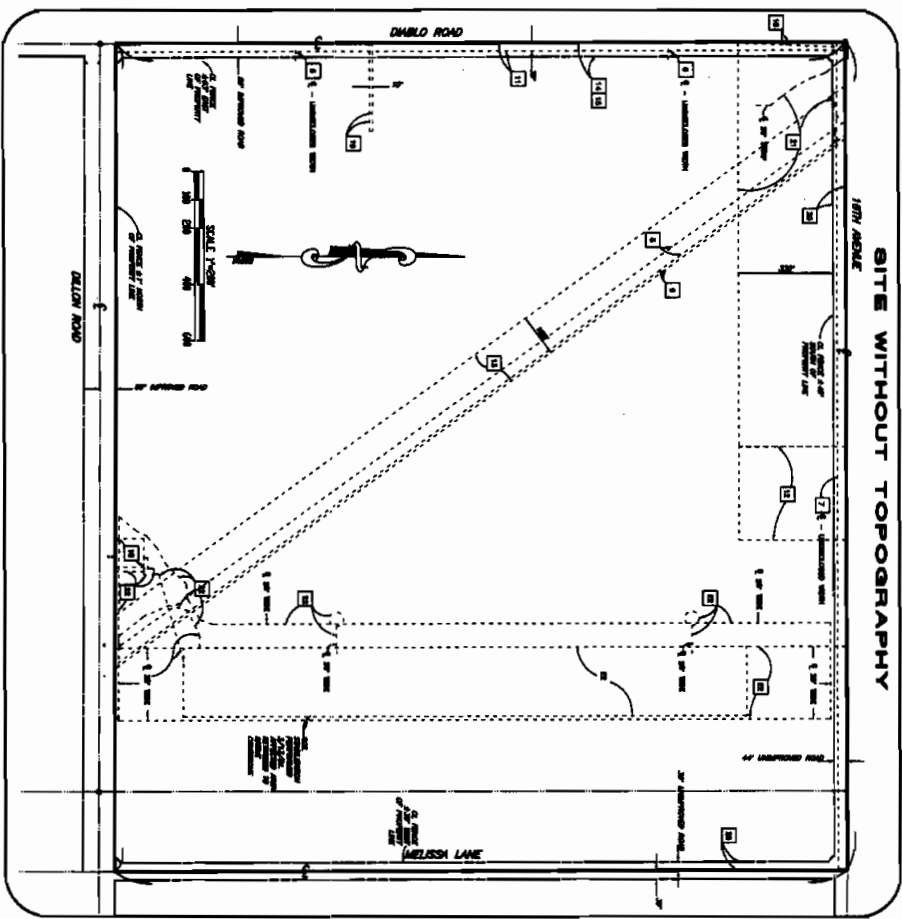
**ENGINEERING CONSULTANTS INC.**  
SUITE 100  
7400 BELLAVILLE AVENUE  
DENVILLE, MD 20750



# A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

SHEET 2 OF 2 SHEETS



- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>✱ Airport Runway Light</li> <li>✱ Airport Navigation Aid</li> <li>✱ Airport Obstruction Spot</li> <li>✱ Airport Symbol-Miscellaneous</li> <li>✱ Airplane</li> <li>✱ Bench Mark</li> <li>✱ Boundary Marker</li> <li>✱ Caden Marker (Text indicates type)</li> <li>✱ Capstone</li> <li>✱ Catch Basin (Specified on built)</li> </ul> | <ul style="list-style-type: none"> <li>■ Drain Inlet</li> <li>○ Drain Inlet-Circular</li> <li>○ Control-Vertical Photo</li> <li>○ Control-Vertical Photo</li> <li>○ Culvert Headwall</li> <li>○ Ditch</li> <li>○ Ditch</li> <li>○ Electric Box</li> <li>○ Electric Meter</li> <li>○ Electric Meter</li> <li>○ Fire Cap</li> <li>○ Flag Pole</li> <li>○ Fuel Line Marker</li> <li>○ Gas Line Marker</li> <li>○ Gas Meter</li> <li>○ Gas Valve</li> <li>○ Gas Well</li> <li>○ Golf Course Symbol-Miscell.</li> <li>○ Gravel</li> <li>○ Guy Pole</li> <li>○ Jetty</li> <li>○ Light Pole</li> <li>○ Monument</li> <li>○ Navigation Aid</li> <li>○ Navigation Aid-Lighted</li> <li>○ Pier</li> <li>○ Property Corner</li> <li>○ Pump</li> <li>○ Railroad Signal</li> <li>○ Railroad Switch Box</li> <li>○ Sanitary Sewer Manhole</li> <li>○ Scufflin Dish</li> <li>○ Sign</li> <li>○ Spot Elevation</li> <li>○ Steam Coner</li> <li>○ Steam Manhole</li> <li>○ Steam Valve</li> <li>○ Storm Drain Manhole</li> <li>○ Storm Drain Manhole</li> <li>○ Telephone Manhole</li> <li>○ Telephone Pole</li> <li>○ Transmission Pole</li> <li>○ Transmission Tower</li> <li>○ Traffic Signal</li> <li>○ Traffic Signal</li> <li>○ Water Tap</li> <li>○ Water Well</li> <li>○ Overhead</li> <li>○ Power Pole</li> <li>○ Water Valve</li> <li>○ Water Valve</li> <li>○ Water Valve</li> <li>○ Water Valve</li> </ul> |
|---|---|

**LEGEND NOTES:**  
 THE STANDARD LEGEND SHOWS STANDARD SYMBOLS PROVIDED BY AIR SURVEY. NOT ALL SYMBOLS SHOWN APPLICABLE TO PROJECT.

**CHARTERED TITLE COMPANY**  
 NOVEMBER 1, 2008

**REGISTERED PROFESSIONAL ENGINEER**  
 SHAMIC CONSULTING INC.  
 712311 RED WAGON DRIVE  
 PALM DESERT, CA 92310  
 SHAMIC 760.346.7944

## **Recorded Road Easement Access**



**COUNTY OF RIVERSIDE**  
**TRANSPORTATION AND**  
**LAND MANAGEMENT AGENCY**  
**Transportation Department**



*George A. Johnson, P.E.*  
*Director of Transportation*

April 24, 2007

**Wintec Energy, LTD**  
**1090 North Palm Canyon Drive, Suite A**  
**Palm Springs, CA 92262**

Attn: Frederick W. Noble

Re: **SUR07027** Accepting a portion of an unnamed road easement

Enclosed please find a Conformed Copy of the Recorded Resolution Accepting the road easement for public use for the above-mentioned project. To obtain a Certified Copy please contact the Recorder's Office.

Please contact me at (951) 955-6107, if you have any questions

Sincerely,

Alejandro Martinez  
Senior Engineering Technician

AM

Attachments: Conformed Copy of Resolution

PLEASE COMPLETE THIS INFORMATION

RECORDING REQUESTED BY:

CLERK OF THE BOARD  
DEPARTMENT  
(CAC - 1st Floor)

AND WHEN RECORDED MAIL TO:

RETURN TO: STOP #1010

Clerk of the Board  
(CAC Bldg. - 1<sup>st</sup> Floor)

DOC # 2007-0262292  
04/19/2007

Conformed Copy

Has not been compared with original

Larry W Ward  
County of Riverside  
Assessor, County Clerk & Recorder

THIS SPACE FOR RECORDERS USE ONLY

**RESOLUTION NO. 2007-089**

Title of Document

ACCEPTING A PORTION OF AN UNNAMED ROAD EASEMENT,  
IN THE NORTH PALM SPRINGS AREA, FOR PUBLIC USE

(FIFTH SUPERVISORIAL DISTRICT)

(Transportation Department ~ Item 2.18 of 04/17/07)

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE  
FOR RECORDING INFORMATION

**COPY**

2  
3 **RESOLUTION NO 2007-089**

4  
5 **ACCEPTING A PORTION OF AN UNNAMED ROAD EASEMENT, IN THE NORTH**  
6 **PALM SPRINGS AREA, FOR PUBLIC USE.**

7  
8 **(Fifth Supervisorial District)**

9  
10 **WHEREAS**, the hereinafter described portion of an unnamed road easement was  
11 offered for dedication for road and public utility purposes by the Instrument No. hereinafter-  
12 referred to, which offers of dedication have not been previously accepted for public use by  
13 the County of Riverside, now, therefore;

14  
15 **BE IT RESOLVED, DETERMINED AND ORDERED** by the Board of Supervisors of  
16 the County of Riverside, State of California, in regular session assembled on April 17 ,  
17 2007, that this Board accepts the offers of dedication and recognizes that said road is public  
18 road open for use by the general public;

19  
20 **BE IT FURTHER RESOLVED, DETERMINED, AND ORDERED** that this acceptance  
21 is for the purpose of vesting title in the County of Riverside on behalf of the public for public  
22 road and utility uses, and is not an acceptance of the roads into the County Maintained Road  
23 System pursuant to Section 941 of the Streets and Highways Code and that said road will not  
24 become part of the County Maintained Road System unless subsequently accepted into said  
25 Maintained Road System by a resolution adopted by this Board;



1 **Resolution No. 2007-089**

2  
3 Said road is in the County of Riverside, State of California, and is described as follows:

4  
5 **UNNAMED ROAD EASEMENT** (See Exhibit "A")

6 That portion of an unnamed road easement (33.00 feet wide) lying within the easterly  
7 33.00 feet of the W 1/2 of the SW 1/4 of the SW 1/4 of SE 1/4 of Section 4, T.3S., R.4E.,  
8 recorded on March 17, 1966, as Instrument No. 28151, of official Records of Riverside  
9 County, California.

10  
11 **BE IT FURTHER RESOLVED** that the Clerk of the Board shall cause a certified copy of this  
12 resolution to be recorded in the Office of the County Recorder of Riverside County, California.

13 ADOPTED by Riverside County Board of Supervisors on April 17, 2007, by  
14 the following vote:

15 ROLL CALL:

16 Ayes: Buster, Tavaglione, Stone, Wilson and Ashley  
17 Nays: None  
18 Absent: None

19  
20  
21  
22  
23 AM

24 W.O. No. SUR07027

FORM APPROVED  
COUNTY COUNSEL

APR 04 2007

BY *Gordon V. Liko*

26  
The foregoing is certified to be a true copy of a resolution duly adopted by said Board of Supervisors on the date therein set forth.

NANCY ROMERO Clerk of said Board

By *Schlummer* Deputy

# EXHIBIT "A"

ACCEPTING AN UNNAMED ROAD  
EASEMENT FOR PUBLIC ROAD USE

33'

W1/2, SW1/4  
SW1/4, SE1/4  
SEC 4, T3S, R4 E  
S.B.M.

660'



NTS

RIGHT OF WAY  
PER INSTR. NO. 28151  
MARCH 17, 1966 O.R.

S1/4 COR.  
SEC. 4

16TH AVENUE

CITY OF  
PALM SPRINGS

MELISSA LANE



SEC4, T3S R4E S.B.M.

COUNTY OF RIVERSIDE TRANSPORTATION DEPARTMENT, SURVEY DIVISION

PAGE 1 OF 1

PROJECT: SUR07027 ACCEPTANCE OF R/W

PREPARED BY: AM

THIS PLAT IS AN AID IN LOCATING THE PARCEL (S) DESCRIBED IN THE PRECEDING  
DOCUMENT; ALL PRIMARY CALLS ARE IN THE WRITTEN DESCRIPTION

DATE:







BY: *[Signature]*

DATE: *3-15-07*

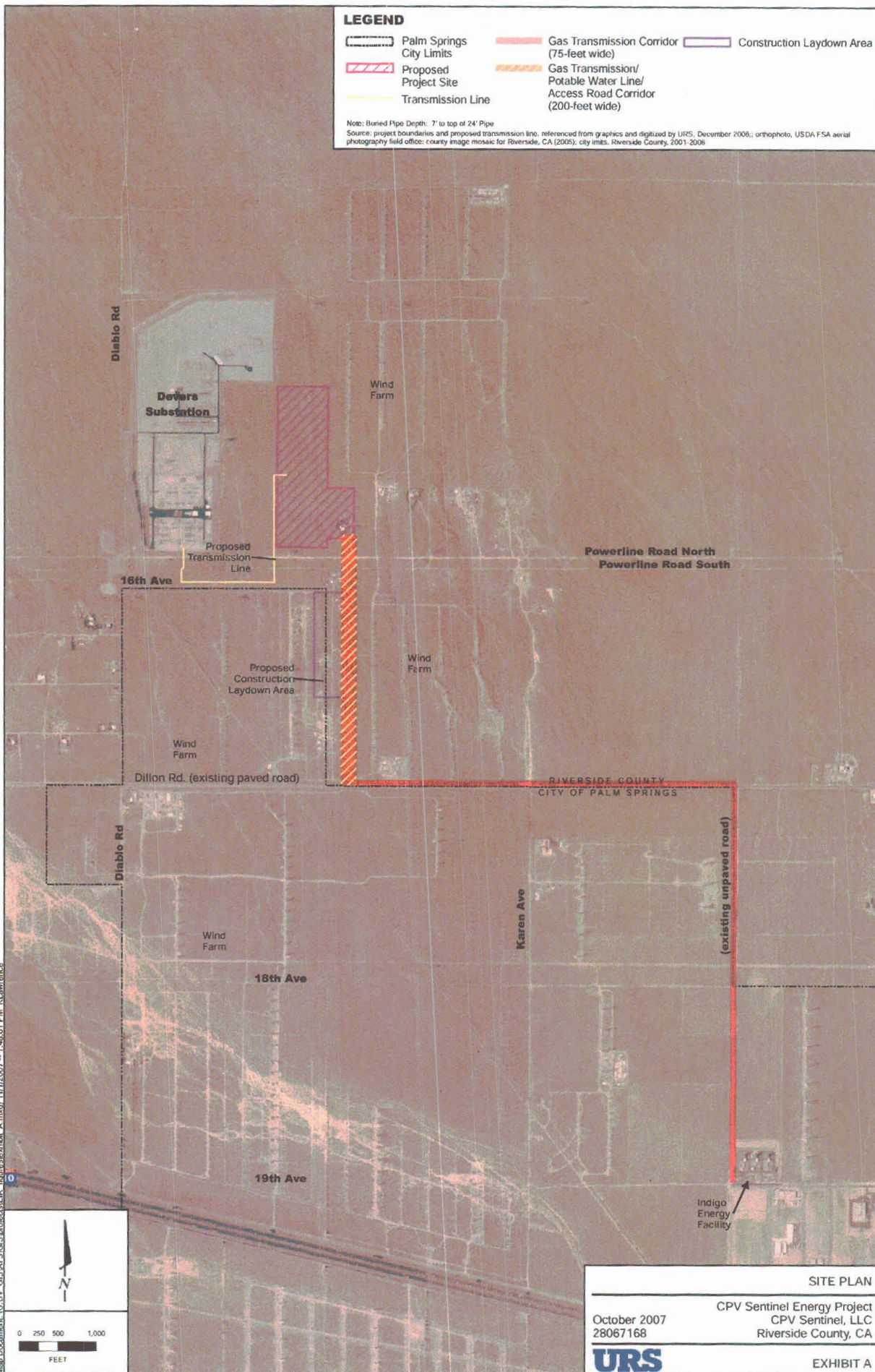
W.O. NO.: SUR07027

## Figures

**LEGEND**

-  Palm Springs City Limits
-  Proposed Project Site
-  Transmission Line
-  Gas Transmission Corridor (75-foot wide)
-  Gas Transmission/Potable Water Line/Access Road Corridor (200-foot wide)
-  Construction Laydown Area

Note: Buried Pipe Depth: 7' to top of 24" Pipe  
 Source: project boundaries and proposed transmission line, referenced from graphics and digitized by URS, December 2006; orthophoto, USDA FSA aerial photography field office: county image mosaic for Riverside, CA (2005); city limits, Riverside County, 2001-2006



Map Document: U:\V\_GIS\AT\SIG\Servers\ER\_Images\shbit\_A.mxd, 11/17/2007, 1:45:01 PM, X:\Lawrence

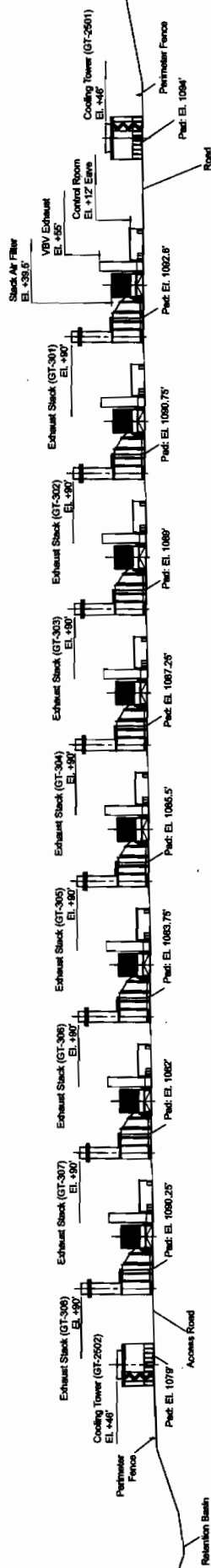
**SITE PLAN**

October 2007  
 28067168

CPV Sentinel Energy Project  
 CPV Sentinel, LLC  
 Riverside County, CA

**URS**

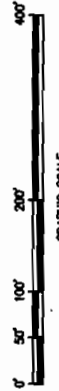
EXHIBIT A



ELEVATION LOOKING WEST

NOTES:

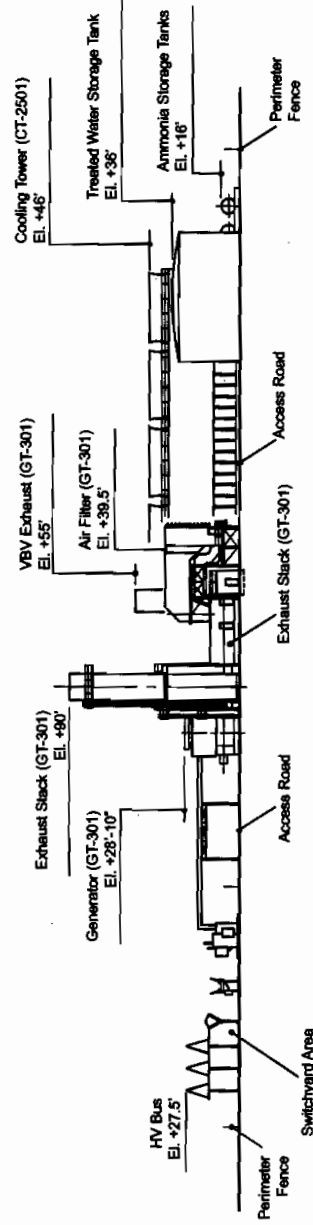
1. Equipment arrangements is based on preliminary information and shall be verified during final design.
2. Equipment elevations shown are based on best available information and shall be verified during final design.
3. Equipment elevations noted are heights above finished grade. See project grading plan for finished grade elevations not shown on this sheet.



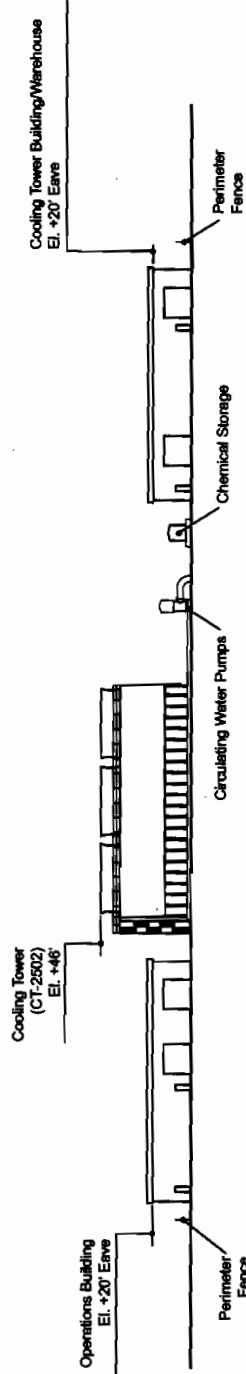
GRAPHIC SCALE

**BUILDING ELEVATIONS LOOKING WEST**  
 November 2007  
 28067188  
**URS**  
 CPV Sentinel Energy Project  
 CPV Sentinel, LLC  
 Riverside County, California  
**EXHIBIT B-1**

Source:  
 Spectrum Energy, Inc.  
 Equipment Arrangement Elevations (CPV\_MEA-102)  
 Rev. C, 5/04/07



ELEVATION AT EXHAUST STACK GT-301 LOOKING NORTH



ELEVATION AT COOLING TOWER CT-2502 LOOKING SOUTH

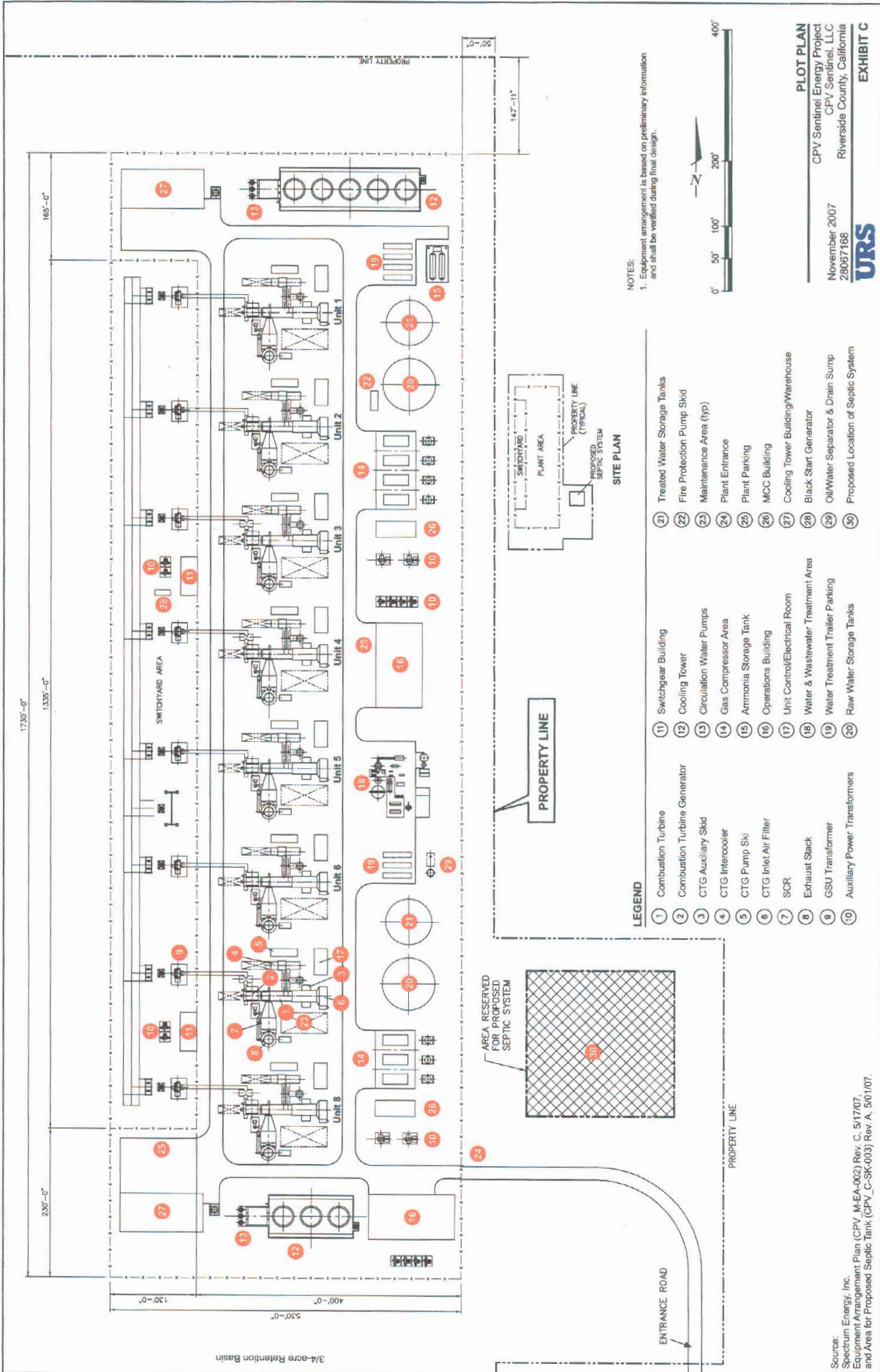
NOTES:  
 1. Equipment arrangement is based on preliminary information and shall be verified during final design.  
 2. Equipment elevations shown are based on best available information and shall be verified during final design.  
 3. Equipment elevations noted are heights above finished grade. See project grading plan for finished pad elevations not shown on this sheet.



Source:  
 Spectrum Energy, Inc.  
 Equipment Arrangement Elevations (CPV\_M-EA-102)  
 Rev. C, 5/04/07

**BUILDING ELEVATIONS**  
**LOOKING NORTH AND SOUTH**  
 CPV Sentinel Energy Project  
 November 2007  
 28067188  
 CPV Sentinel, LLC  
 Riverside County, California  
**URS**  
**EXHIBIT B-2**





NOTES:  
1. Equipment arrangement is based on preliminary information and shall be verified during final design.

**SITE PLAN**

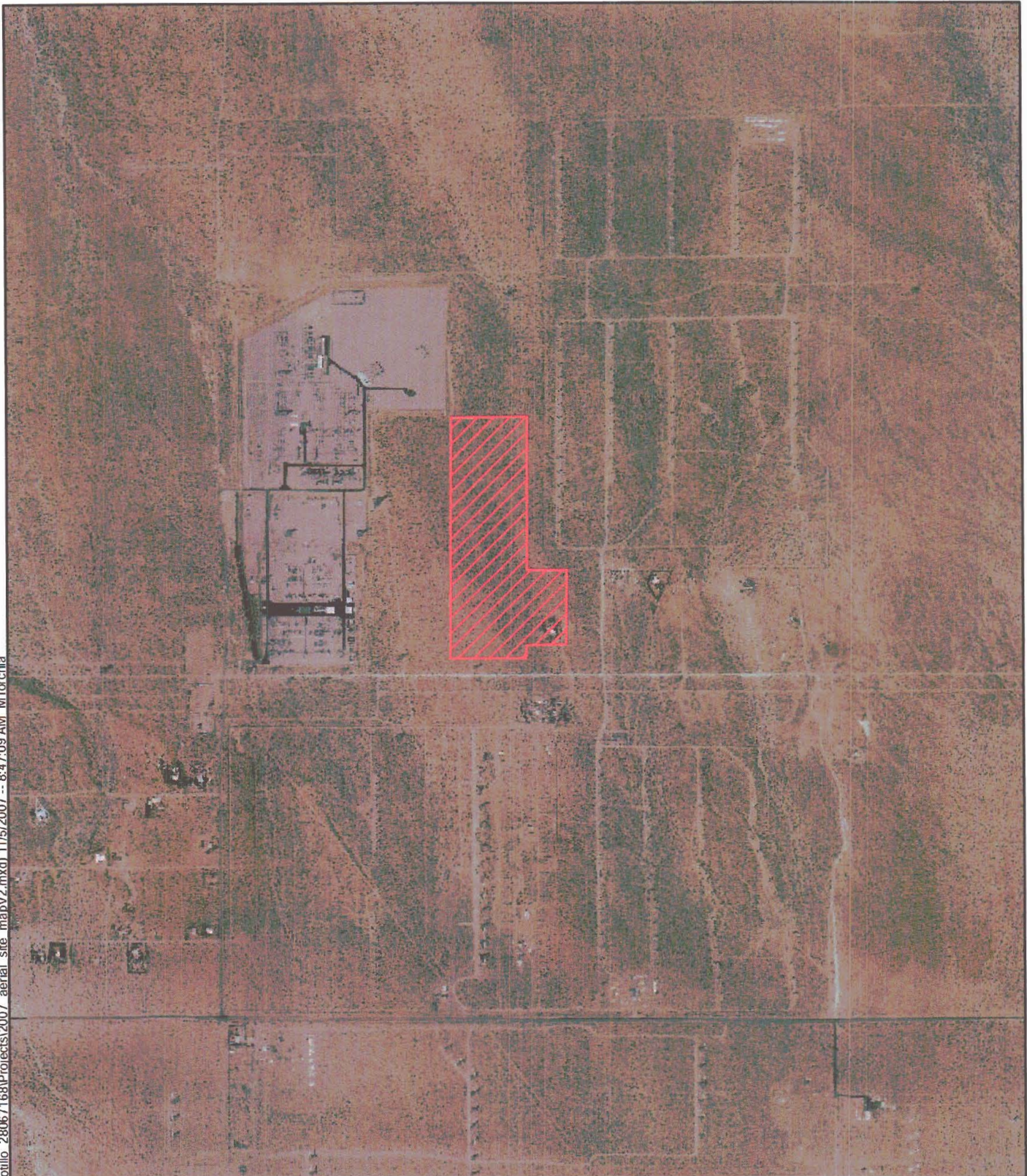
- |    |                              |    |                                   |    |                                    |
|----|------------------------------|----|-----------------------------------|----|------------------------------------|
| 1  | Combustion Turbine           | 11 | Switchgear Building               | 21 | Treated Water Storage Tanks        |
| 2  | Combustion Turbine Generator | 12 | Cooling Tower                     | 22 | Fire Protection Pump Skid          |
| 3  | CTG Auxiliary Skid           | 13 | Circulation Water Pumps           | 23 | Maintenance Area (typ)             |
| 4  | CTG Intercooler              | 14 | Gas Compressor Area               | 24 | Plant Entrance                     |
| 5  | CTG Pump Ski                 | 15 | Ammonia Storage Tank              | 25 | Plant Parking                      |
| 6  | CTG Inlet Air Filler         | 16 | Operations Building               | 26 | MCC Building                       |
| 7  | SCR                          | 17 | Unit Control/Electrical Room      | 27 | Cooling Tower Building/Warehouse   |
| 8  | Exhaust Stack                | 18 | Water & Wastewater Treatment Area | 28 | Black Start Generator              |
| 9  | GSU Transformer              | 19 | Water Treatment Trailer Parking   | 29 | Oil/Water Separator & Drain Sump   |
| 10 | Auxiliary Power Transformers | 20 | Raw Water Storage Tanks           | 30 | Proposed Location of Septic System |


**PLOT PLAN**  
 CPV Sentinel Energy Project  
 CPV Sentinel, LLC  
 Riverside County, California  
 November 2007  
 28067168  
**URS**  
**EXHIBIT C**

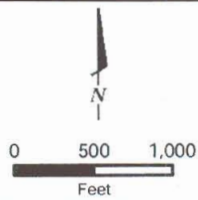
Source:  
 Spectrum Energy, Inc.  
 Equipment Arrangement Plan (CPV\_M-EA-002) Rev. C. 5/17/07,  
 and Area for Proposed Septic Tank (CPV\_C-SK-003) Rev. A. 5/01/07.  
 11/07/07 via: XCPV Sentinel (Dossak) Data Request\_Nov07Exhibit C.plt/plan.caf



Map Document: (U:\GIS\Ocotillo\_28067168\Projects\2007\_aerial\_site\_map\2.mxd) 11/5/2007 -- 8:47:09 AM MTorchia



 Proposed Project Site



**AERIAL PHOTO OF PROPOSED PROJECT SITE**

November 2007  
28067168

CPV Sentinel Energy Project  
CPV Sentinel, LLC  
Riverside County, CA


Source: project boundary, digitized by URS, December 2006; USGS 7.5-minute quadrangle (Desert Hot Springs), 1978.



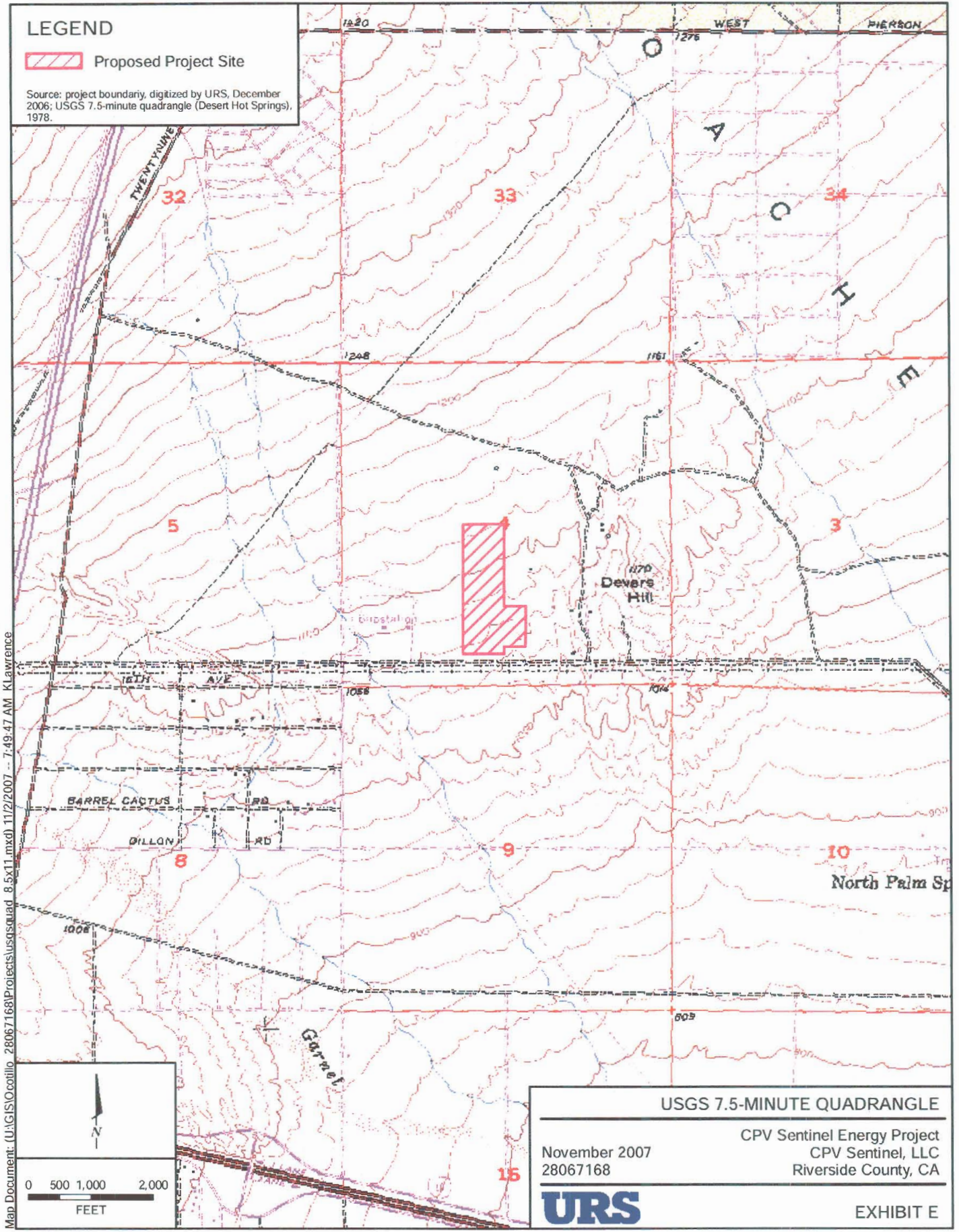
EXHIBIT D



**LEGEND**

 Proposed Project Site

Source: project boundary, digitized by URS, December 2006; USGS 7.5-minute quadrangle (Desert Hot Springs), 1978.



Map Document: (U:\GIS\Ocotillo\_28067168\Projects\usgsquad\_8.5x11.mxd) 11/2/2007 -- 7:49:47 AM Klawrence

**USGS 7.5-MINUTE QUADRANGLE**

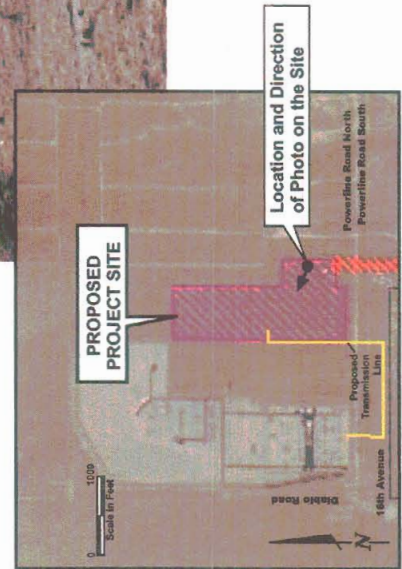
November 2007  
28067168

CPV Sentinel Energy Project  
CPV Sentinel, LLC  
Riverside County, CA



**EXHIBIT E**





Location and Direction of Photo on the Site

**PANORAMA PHOTO 1 (FACING WEST)**

CPV Sentinel Energy Project  
 CPV Sentinel, LLC  
 Riverside County, California

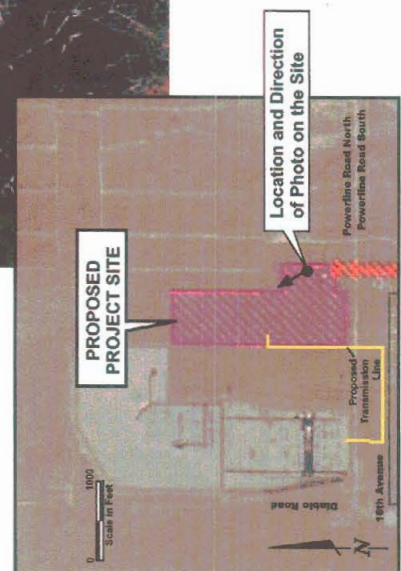
November 2007  
 28067168



**FIGURE 1**

**Location and Direction of Photo on the Site**





**PANORAMA PHOTO 2 (FACING NORTH)**  
 November 2007  
 28067168

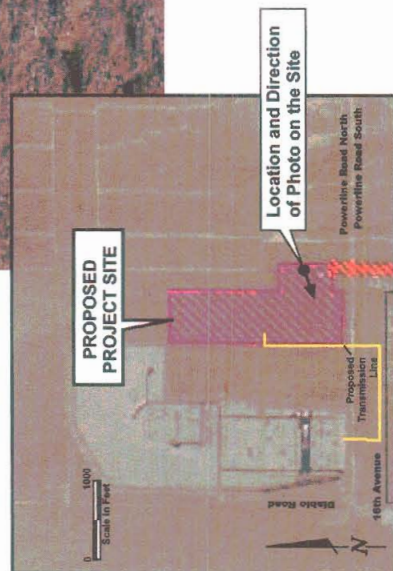
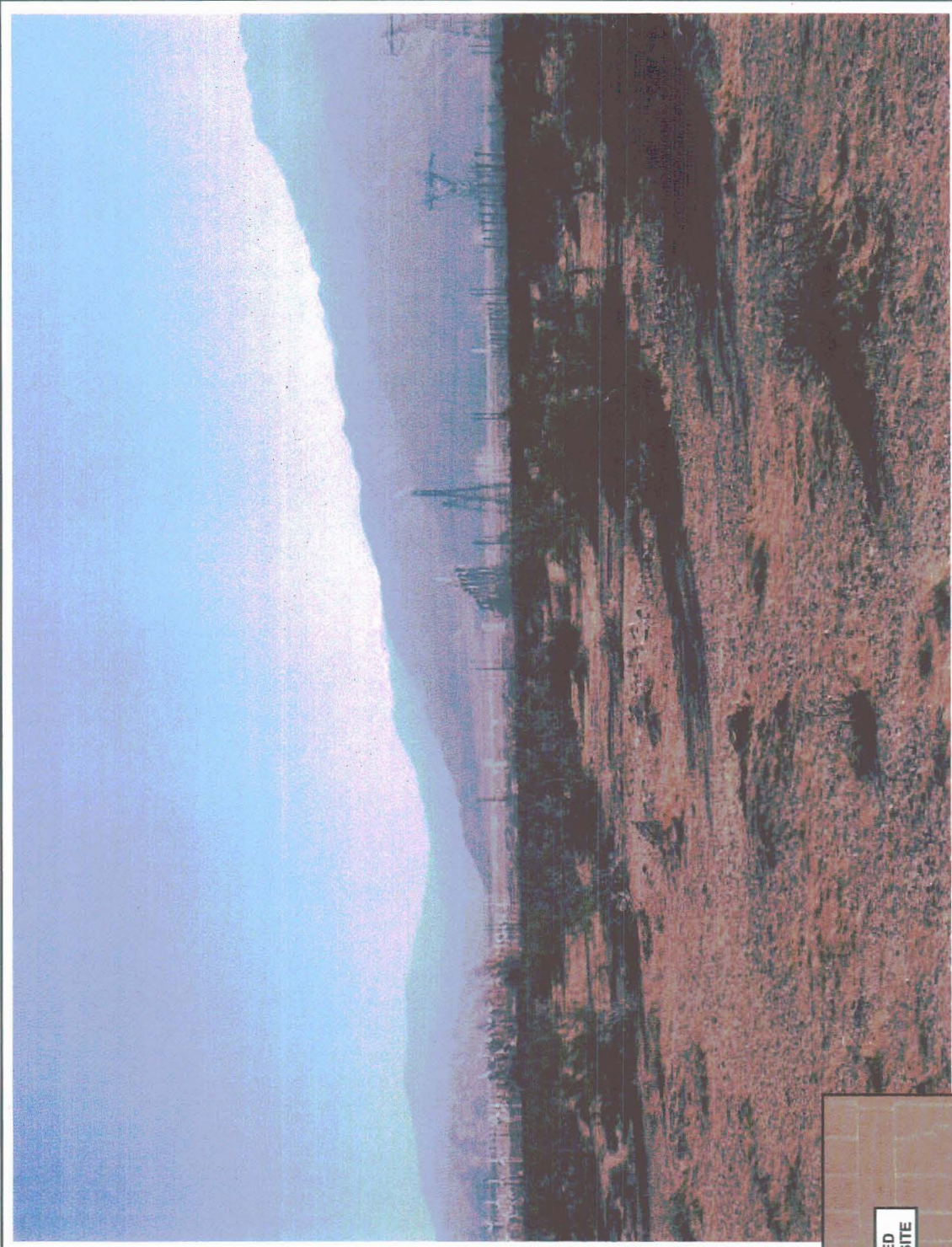
CPV Sentinel Energy Project  
 CPV Sentinel, LLC  
 Riverside County, California

**URS**

**FIGURE 2**

**Location and Direction of Photo on the Site**





Location and Direction of Photo on the Site

**PANORAMA PHOTO 3 (FACING WEST)**

November 2007  
 28067168

CPV Sentinel Energy Project  
 CPV Sentinel, LLC  
 Riverside County, California



**FIGURE 3**

**Location and Direction of Photo on the Site**



**STATE OF CALIFORNIA  
ENERGY RESOURCES  
CONSERVATION AND DEVELOPMENT COMMISSION**

In the Matter of:	)	Docket No. 07-AFC-3
	)	
Application for Certification, for the CPV SENTINEL ENERGY PROJECT <i>Power Plant Licensing Case</i>	)	<b>ELECTRONIC PROOF OF SERVICE LIST</b>
	)	
	)	(Revised October 15, 2007)
	)	

---

Transmission via electronic mail and by depositing one original signed document with FedEx overnight mail delivery service at Costa Mesa, California with delivery fees thereon fully prepaid and addressed to the following:

DOCKET UNIT

**CALIFORNIA ENERGY COMMISSION**

Attn: DOCKET NO. 07-AFC-3  
1516 Ninth Street, MS-4  
Sacramento, California 95814-5512  
[docket@energy.state.ca.us](mailto:docket@energy.state.ca.us)

Transmission via electronic mail addressed to the following:

APPLICANT

**Mark O. Turner**  
Director  
CPV Sentinel, LLC  
55 Second Street, Suite 525  
San Francisco, California 94105  
[mturner@cpv.com](mailto:mturner@cpv.com)

**Dale Shileikis**  
Vice President  
URS Corporation  
221 Main Street, Suite 600  
San Francisco, CA 94105-1916  
[dale\\_shileikis@urscorp.com](mailto:dale_shileikis@urscorp.com)

CPV SENTINEL ENERGY PROJECT  
CEC Docket No. 07-AFC-3

INTERESTED AGENCIES

**Larry Tobias**  
California Independent System Operator  
151 Blue Ravine Road  
Folsom, California 95630  
[LTobias@caiso.com](mailto:LTobias@caiso.com)

**Electricity Oversight Board**  
770 L. Street, Suite 1250  
Sacramento, CA 95814  
[esaltmarsh@eob.ca.gov](mailto:esaltmarsh@eob.ca.gov)

**Mohsen Nazemi, PE**  
South Coast AQMD  
21865 Copley Drive  
Diamond Bar, CA 91765-4178  
[Mnazemil@amqmd.gov](mailto:Mnazemil@amqmd.gov)

ENERGY COMMISSION

**James D. Boyd**  
Presiding Member  
[jboyd@energy.state.ca.us](mailto:jboyd@energy.state.ca.us)

**Jackalyne Pfannensteil**  
Associate Committee Member  
[jpfannen@energy.state.ca.us](mailto:jpfannen@energy.state.ca.us)

**Kenneth Celli**  
Hearing Officer  
[kcelli@energy.state.ca.us](mailto:kcelli@energy.state.ca.us)

**Bill Pfanner**  
Project Manager  
[Bpfanner@energy.state.ca.us](mailto:Bpfanner@energy.state.ca.us)

**Caryn Holmes**  
Staff Counsel  
[cholmes@energy.state.ca.us](mailto:cholmes@energy.state.ca.us)

**Public Adviser**  
[pao@energy.state.ca.us](mailto:pao@energy.state.ca.us)

CPV SENTINEL ENERGY PROJECT  
CEC Docket No. 07-AFC-3

DECLARATION OF SERVICE

I, Paul Kihm, declare that on November 26, 2007, I deposited a copy of the attached:

**PUBLIC USE PERMIT APPLICATION, CPV SENTINEL ENERGY PROJECT**

with FedEx overnight mail delivery service at Costa Mesa, California with delivery fees thereon fully prepaid and addressed to the California Energy Commission. I further declare that transmission via electronic mail was consistent with the requirements of California Code of Regulations, title 20, sections 1209, 1209.5, and 1210. All electronic copies were sent to all those identified on the Proof of Service List above.

I declare under penalty of perjury that the foregoing is true and correct. Executed on November 26, 2007, at Costa Mesa, California.

  
\_\_\_\_\_  
Paul Kihm